

176th BOARD YEAR

LEGISLATIVE ITEMS RECEIVED FOR COMMITTEE REFERRAL

| File No. | Rec/Ref: | To: | Title |
|-----------|----------------------|----------------|--|
| 176-A-019 | 08/03/21 08/05/21 | EX | APPT: Joel Gaughan to the Aging & Disability Resource Center Advisory Board |
| 176-O-058 | 08/04/21 08/05/21 | HR FI | ORD: Ratification Of The 2020 – 2022 Waukesha Deputy Sheriff Labor Union Collective Bargaining Agreement |
| 176-O-059 | 08/02/21 08/05/21 | CB | ORD: Approve Compromise Settlement For Worker's Compensation Case Entitled Richard Shanks vs. County Of Waukesha |
| 176-R-004 | 09/03/21 09/03/21 | EX | RES: Establish Tentative County Supervisory District Plan |
| 176-O-060 | VOID | | |
| 176-O-061 | 09/07/21 09/09/21 | LU | ORD: Amend The Text Of The Town Of Mukwonago Zoning Code Relating To Backyard Chickens, Household Livestock, Play Structures, Private Kennels, Off-Site And On-Site Farm Stands, Floor Area Of Detached Accessory Buildings, Development Standards For Lakewood Farms Preserve Subdivision And Other Miscellaneous Provisions (RZ87) |
| 176-O-062 | 09/07/21 09/09/21 | LU | ORD: Amend The District Zoning Map Of The Town Of Genesee Zoning Code By Conditionally Rezoning Certain Lands Located In Part Of The SW ¼, NW ¼ And SE ¼ Of Section 35, T6N, R18E, Town Of Genesee, Waukesha County, Wisconsin From The A-2 Rural Home District To The R-1 Residential District (RZ88) |
| 176-O-063 | 09/03/21 09/09/21 | PW FI | ORD: Modify The 2021 Transportation Fund Budget To Appropriate Revenues And Expenditures To Purchase A Truck Mounted Attenuator |
| 176-O-064 | 09/08/21 09/09/21 | PW FI | ORD: Modify The 2021 Department Of Public Works, Airport Operations Fund Budget Revenues And Expenditures To Accept Federal Coronavirus Relief Funds |
| 176-O-065 | 09/08/21 09/09/21 | EX PW FI | ORD: Modify The 2021-2025 Capital Plan For The Creation Of Capital Project #202110 – Airport Ramp Rehabilitation Project To Rehabilitate The Airport Executive Terminal Ramp, South Tie-Down Ramp, And The West Exclusive Use Ramp |
| 176-R-005 | 09/08/21 09/09/21 | EX | RES: Adopt Five-Year Capital Projects Plan |
| 176-O-066 | 09/08/21 09/09/21 | JU FI | ORD: Modify The Department Of Emergency Preparedness 2021 Budget And Authorize The Department To Accept The Fox River Watershed Mitigation Grant |
| 176-O-067 | 09/08/21 09/09/21 | JU FI | ORD: Modify The 2021 Budget Of The Department Of Emergency Preparedness And To Accept Grant Funding From The Federal Emergency Management Agency (FEMA) To Complete The Waukesha County Hazard Mitigation Plan |
| 176-O-068 | 09/08/21 09/09/21 | JU | ORD: Sixth Amendment To Lease Agreement With New Cingular Wireless PCS, LLC |
| 176-O-069 | 09/08/21 09/09/21 | JU | ORD: First Amendment To Lease Agreement With United States Cellular Operating Company LLC |
| 176-O-070 | 09/08/21 09/09/21 | JU FI | ORD: Accept An In-Kind Donation To The Sheriff's Department Of A One-Year Graykey Software License Subscription From Non-Profit Organization, Operation Underground Railroad, And Approve Related Agreements |

176th BOARD YEAR

LEGISLATIVE ITEMS RECEIVED FOR COMMITTEE REFERRAL

| File No. | Rec/Ref: | To: | Title |
|-----------|----------------------|----------------|---|
| 176-O-071 | 09/08/21 09/09/21 | JU HR FI | ORD: Modify The 2021 Circuit Court Services', District Attorney's, And Sheriff's Budgets To Authorize Grant Expenditures And Create Nine Regular Full-Time Sunset Positions And Five Part-Time Sunset Positions To Address The Criminal Court Backlog |
| 176-O-072 | 09/07/12 09/09/21 | JU FI | ORD: Modify The 2021 District Attorney's Office Budget To Accept Grant And Donation Revenue To Support Emotional Support Dog |

1 AMEND THE TEXT OF THE TOWN OF MUKWONAGO ZONING CODE RELATING TO BACKYARD
2 CHICKENS, HOUSEHOLD LIVESTOCK, PLAY STRUCTURES, PRIVATE KENNELS, OFF-SITE
3 AND ON-SITE FARM STANDS, FLOOR AREA OF DETACHED ACCESSORY BUILDINGS,
4 DEVELOPMENT STANDARDS FOR LAKEWOOD FARMS PRESERVE SUBDIVISION
5 AND OTHER MISCELLANEOUS PROVISIONS (RZ87)
6
7

8 WHEREAS, after proper notice was given, a public hearing was held and the subject matter of
9 this Ordinance was approved by the Mukwonago Town Board on July 14, 2021; and
10

11 WHEREAS, the matter was referred to and considered by the Waukesha County Park and
12 Planning Commission, which recommended approval and reported that recommendation to the
13 Land Use, Parks and Environment Committee and the Waukesha County Board of Supervisors,
14 as required by Section 60.62, Wis. Stats.
15

16 THE COUNTY BOARD OF SUPERVISORS OF THE COUNTY OF WAUKESHA ORDAINS that the text
17 of the Town of Mukwonago Zoning Code, adopted by the Town of Mukwonago on November
18 30, 2020, is hereby amended relative to requirements for backyard chickens, household
19 livestock, play structures, private kennels, off-site and on-site farm stands, floor area of
20 detached accessory buildings, development standards for Lakewood Farms Preserve
21 Subdivision and other miscellaneous provisions, more specifically described in the "Staff Report
22 and Recommendation" on file in the office of the Waukesha County Department of Parks and
23 Land Use and made a part of this Ordinance by reference RZ87, is hereby approved.
24

25 BE IT FURTHER ORDAINED that the Waukesha County Clerk shall file a certified copy of this
26 Ordinance with the Town Clerk of Mukwonago.
27

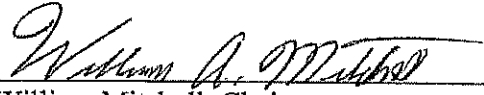
28 BE IT FURTHER ORDAINED that this Ordinance shall be in full force and effect upon passage,
29 approval and publication.

COMMISSION ACTION

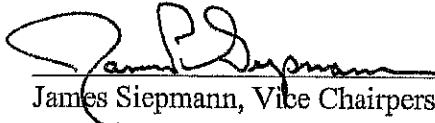
The Waukesha County Park and Planning Commission after giving consideration to the subject matter of the Ordinance to amend the Town of Mukwonago Zoning Code hereby recommends approval of **RZ87 (Text Amendment)** in accordance with the attached "Staff Report and Recommendation".

PARK AND PLANNING COMMISSION

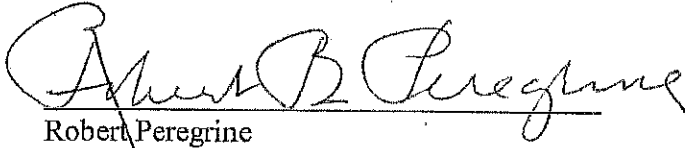
August 19, 2021



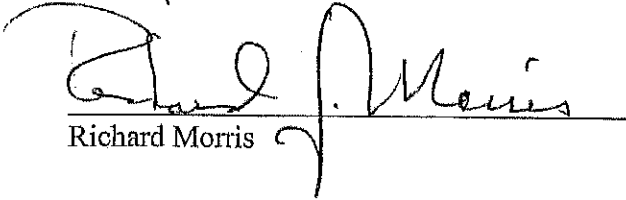
William Mitchell, Chairperson



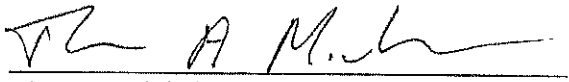
James Siepmann, Vice Chairperson



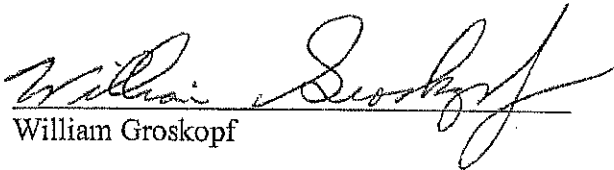
Robert Peregrine



Richard Morris



Thomas Michalski



William Groskopf

WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE
STAFF REPORT AND RECOMMENDATION
TEXT AND MAP AMENDMENT

FILE NO: RZ87
TAX KEY NUMBER: N/A
DATE: August 19, 2021
NAME OF PETITIONER: Town Board of Mukwonago
Town of Mukwonago Hall
W320 S8315 Beulah Road
Mukwonago, WI 53149

NATURE OF REQUEST:

Amend and repeal various sections of Chapter 36 of the Town of Mukwonago Zoning Code relating to backyard chickens, household livestock, play structures, private kennels, off-site and on-site farm stands, floor area of detached accessory buildings, development standards for Lakewood Farms Preserve subdivision and other miscellaneous provisions.

PUBLIC HEARING DATE:

July 14, 2021

PUBLIC REACTION:

A few residents of the Lakewood Farms subdivision spoke. Some noted that they liked that outbuildings were not allowed within the subdivision, while another resident expressed desire for accessory buildings. The decision to allow or not allow accessory buildings within that planned unit development subdivision was not part of the proposed text amendments being considered. The town planner has indicated that a separate application could be made to seek such a change.

TOWN PLAN COMMISSION ACTION:

At their meeting of July 14, 2021, the Town of Mukwonago Plan Commission recommended approval of the proposed text amendments to the Town Board.

TOWN BOARD ACTION:

At their meeting of July 14, 2021, the Town of Mukwonago Board unanimously approved the proposed text amendments to Town of Mukwonago Zoning Code.

COMPLIANCE WITH THE COMPREHENSIVE DEVELOPMENT PLAN FOR WAUKESHA COUNTY (WCCDP) AND THE TOWN OF MUKWONAGO COMPREHENSIVE PLAN:

The text amendments are minor in nature and generally provide clarification regarding small accessory buildings.

STAFF ANALYSIS:

The proposed amendments clarify that smaller buildings used for housing animals, farmstands or play structures do not count as accessory buildings. This allows for individuals to have small

chicken coops, loafing sheds or play structures without having said structures contribute to the maximum number of outbuildings on a property.

The amendments also modify some terms of Planned Development District 14, which governs the Lakewood Farms subdivision. A correction was made to clarify that the minimum ranch home square footage is 2,200 square feet. Clarifiers have been added to cap the number of pool cabanas and gazebos on a lot to one of each type. The design, placement and construction of accessory buildings will no longer be subject to the review of the architectural control committee of the homeowner's association.

The proposed ordinance is attached and the changes are shown in strike-thru and underline within the attached Exhibit A.

STAFF RECOMMENDATION:

The Planning and Zoning Division Staff recommends **approval** of the Town of Mukwonago's request. The request allows property owners the flexibility to have small accessory buildings on their properties without having such building count towards the maximum number of accessory buildings on a lot.

Respectfully submitted,

Jason Fruth

Jason Fruth
Planning and Zoning Manager

Attachments: Town Ordinance No. 2021-O-55
Exhibit A

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ORDINANCE 2021-O-55

| |
|--|
| RECEIVED 07/24/2021 DEPT OF PARKS & LAND USE |
|--|

AN ORDINANCE TO AMEND CHAPTER 36 OF THE MUNICIPAL CODE

WHEREAS, the Town Board for the Town of Mukwonago adopted a zoning code for the Town of Mukwonago in 1953 and has amended it from time to time since then; and

WHEREAS, that zoning code is codified as Chapter 36 of the Town of Mukwonago Municipal Code, titled "Town Zoning;" and

WHEREAS, the Plan Commission at their meeting on June 16, 2021, recommended various revisions to the zoning code as set forth herein; and

WHEREAS, allowing for proper notice, the Plan Commission and Town Board conducted a joint public hearing on July 14, 2021, to consider the amendment and to accept public comment; and

WHEREAS, the Plan Commission recommended approval at their meeting on July 14, 2021; and

WHEREAS, the Town Board considered the Plan Commission's recommendation at their meeting on July 14, 2021; and

WHEREAS, the Town Board finds that the recommended revisions to the Town's zoning regulations could potentially be interpreted to be a down zoning ordinance because it may decrease the development density of land or reduce the permitted uses of land, and therefore the super majority requirement in s. 66.10015, Wis. Stats, applies to this ordinance, requiring a vote in favor by two-thirds of the members-elect of the Town Board for passage and adoption; and

WHEREAS, the Town Board for the Town of Mukwonago, after carefully reviewing the recommendation of the Plan Commission for the Town of Mukwonago and having given the matter due consideration having determined that all procedural requirements and notice requirements have been satisfied, and having based its determination on the effect of the adoption of the ordinance on the health, safety and welfare of the community and the preservation and enhancement of property values in the community, and having given due consideration to the municipal problems involved hereby determine that the ordinance amendment will serve the public health, safety and general welfare of the Town of Mukwonago, will enhance property values in the Town and will not be hazardous, harmful, noxious, offensive or a nuisance, and will not unduly limit or restrict the use of property in the Town or for any other reason cause a substantial adverse effect on the property values and general desirability of the Town.

NOW, THEREFORE, the Town Board for the Town of Mukwonago, Waukesha County, does hereby ordain as follows:

Section 1. Repeal and recreate the development requirements for “Backyard chickens” as set forth in Appendix B (13.05) to read as follows:

Development Requirements:

(a) Legislative intent. The keeping of chickens on residential lots in the Town of Mukwonago is consistent with the Town's rural character and desire to foster sustainable agriculture while addressing issues related to public health, safety, and welfare.

(b) Generally. Backyard chickens are allowed as an accessory use to a single-family residence on lots that are 3 acres or smaller.

(c) Number. No more than 5 female chickens may be kept. The keeping of roosters is prohibited.

(d) Enclosure requirements. Chickens shall be provided with a covered enclosure that is (1) predator-proof; (2) thoroughly ventilated; (3) of sufficient size to allow the free movement of the chickens; and (4) designed to be easily accessed, cleaned, and maintained by the owners. Chickens must be kept in the covered enclosure or a fenced enclosure at all times.

(e) Enclosure considered a structure. A covered enclosure is considered a structure and is subject to all applicable restrictions in this chapter.

(f) Setback requirements. The covered enclosure housing chickens shall be located at least 25 feet from all property boundary lines and shall not be located in the front yard. In addition, the covered enclosure shall be located at least 50 feet from all existing dwelling units on adjoining properties. In the event a dwelling unit is constructed on an adjoining property after the covered enclosure is established under this chapter and the new dwelling is less than 50 feet from the enclosure, the enclosure is not required to be moved.

(g) General care and maintenance. The keeping of chickens shall not cause any nuisance or unhealthy condition, or otherwise interfere with the normal use of any property.

(h) Registration required. The owner, operator, or tenant shall register the premise where chickens are kept with the Wisconsin Department of Agriculture, Trade and Consumer Protection as required by state law and maintain such registration for so long as may be required.

(i) Storage of feed. Feed for the chickens shall be kept indoors or in a sealed container if kept out of doors.

(j) Licensing. The keeping of chickens under this section shall comply with any licensing requirements established by the Town of Mukwonago.

(k) Status as a building. One free-standing chicken coop with a roof not exceeding 48 square feet shall not be counted as an accessory building.

Section 2. Repeal and recreate the development requirements for “Household livestock” as set forth in Appendix B (13.15) to read as follows:

Development Requirements:

(a) Not in a subdivision. The parcel with this use shall not be located in a platted subdivision.

(b) Number of animals. On parcels smaller than 20 acres, the number of livestock shall not exceed one head for each full acre over 2 acres of land the number of poultry shall not exceed 20 fowl for

each full acre over 2 acres. This means that there must be at least 3 acres to have any household livestock.

(c) Prohibited animals. The following are not permitted on parcels smaller than 20 acres: roosters, pigs, male goats, or fur-bearing animals.

(d) Buildings. Nonresidential buildings and other structures for the keeping of household livestock, such as barns, stables, riding arenas, and sheds, are allowed subject to compliance with all other requirements of this chapter.

(e) Location of buildings. A building that houses livestock and/or poultry shall be located at least 50 feet from any lot line.

(f) Manure management plan. The property owner shall submit a manure management plan to the plan commission for review and obtain approval of the same, if so requested by the plan commission.

(g) Buildings not a structure. A loafing shed is not counted as an accessory building, provided (1) the floor area is not more than 240 square feet, (2) it is located within a fenced enclosure, (3) it is constructed so it can be easily moved to another location (i.e., its moveable), (4) it is constructed of exterior building materials similar to the barn/stable, and (5) the number of loafing sheds is limited to the following: 3 to 5 acres - 1; 5.1 to 10 acres - 2; 10.1 to 20 acres - 3; and 20.1 to 35 acres - 4. In the event there are no livestock kept on the property for 6 consecutive months or more, all loafing sheds must be moved off the subject property.

Section 3. Create development requirements for "Play structure" as set forth in Appendix B (13.17) to read as follows:

Development Requirements:

(a) Status as a building. One play structure with a roofed area not exceeding 64 square feet shall not be counted as an accessory building.

Section 4. Repeal and recreate the development requirements for "Private kennel" as set forth in Appendix B (13.19) to read as follows:

Development Requirements:

(a) Limitation. The number of dogs is limited based on the parcel size as follows: Less than one acre - 2 dogs; one acre or more but less than 3 acres - 3 dogs; three acres or more but less than 5 acres - 4 dogs; five or more acres - 6 dogs.

(b) Status as a building. One free-standing dog enclosure with a roof not exceeding 48 square feet shall not be counted as an accessory building.

Section 5. Repeal and recreate the development requirements for "Farmstand, off-site" as set forth in Appendix B (14.03) to read as follows:

Development Requirements:

(a) Not in a subdivision. The parcel with this use shall not be located in a platted subdivision.

(b) Location. An off-site farmstand shall be located at least 30 feet from the base setback line and at least 20 feet from any other lot line.

(c) Hours of operation. If this use is located in a residential zoning district or a planned unit development district that allows residential uses, the hours of operation are limited to sunrise to sunset.

(d) Number. No more than one stand is allowed on any one premises.

(e) Size limitation. If a structure or building is used, the ground area shall not exceed 100 square feet.

(f) Road access. The parcel shall front on and have direct vehicle access to a major road as depicted on the zoning map.

(g) Removal and clean up. Within 24 hours following the close of the off-site farmstand, all features solely associated with the off-site farmstand shall be removed and all trash and debris shall be removed.

(h) Status as a building. One free-standing building with a roof not exceeding 100 square feet shall not be counted as an accessory building.

Section 6. Repeal and recreate the development requirements for "Farmstand, on-site" as set forth in Appendix B (14.04) to read as follows:

Development Requirements:

(a) Limitation on sales. Products offered for sale shall be produced on the premises.

(b) Location. An on-site farmstand shall be located at least 30 feet from the base setback line and at least 20 feet from any other lot line.

(c) Hours of operation. If this use is located in a residential zoning district or a planned unit development district that allows residential uses, the hours of operation are limited to sunrise to sunset.

(d) Number. No more than one stand is allowed on any one premises.

(e) Use of structure. A structure may be used to store or display products and for sales, provided the following conditions are met:

(1) Term of use. The structure is only used from April 1 through November 30 and is removed no later than December 10.

(2) Floor area. The floor area of the structure shall not exceed 500 square feet.

(3) Structure height. The height of the structure shall not exceed 12 feet.

(f) Removal and clean up. Within 24 hours following the close of the on-site farmstand, all features solely associated with the on-site farmstand shall be removed and all trash and debris shall be removed.

(g) Status as a building. One free-standing building with a roof not exceeding 100 square feet shall not be counted as an accessory building.

Section 7. Add the following definition to Appendix E in alphabetical order to read as follows:

Loafing shed A building open on one side that is placed in a pasture or other similar area to provide shelter for livestock

Section 8. Repeal and recreate the following definitions in Appendix E to read as follows:

Lot area As the context indicates, lot area can refer to the minimum required area, actual area, or proposed area.

Note: See s. 36-712 that describes how lot area is measured.

Lot width As the context would indicate, lot width can refer to the minimum required distance, actual distance, or proposed distance.

Note: See s. 36-715 that describes how lot width is measured.

Section 9. Repeal and recreate s. 36-719(c) to read as follows:

Sec. 36-719 Floor area of detached accessory buildings

(a) *Generally.* The total floor area of detached accessory buildings, whether temporary or permanent, shall comply with the standards in appendix C or D. As stated in s. 36-511, the floor area of rural accessory buildings is not included in this total.

(b) *Exception.* The plan commission may approve a special exception, consistent with the procedures and requirements of article 5, to allow a greater floor area, provided:

- (1) the detached building has no more than 4 side-by-side vehicles facing the right-of-way from which the dwelling unit has street access;
- (2) the detached building is not used for any commercial or industrial purposes, except as otherwise allowed by the chapter; and
- (3) the detached building complies with all other requirements of this chapter.

In making their decision, the plan commission shall consider the factors enumerated in article 5 and must make the following determinations:

- (1) the architecture of the accessory building is compatible with the dwelling unit;
- (2) the accessory building will not be adverse to the public health, safety or welfare;
- (3) the accessory building will not be in conflict with the spirit or intent of this chapter; and
- (4) the accessory building will not otherwise be detrimental to the town or the immediate neighborhood where the structure would be located.

The plan commission may impose such conditions it deems necessary including a requirement for screening and/or landscaping.

(c) *Deed restriction required with approval of special exception.* If the plan commission approves a special exception under subsection (b) above, a deed restriction, in a form approved by the town attorney, shall be filed in the Waukesha County register of deeds office, prior to issuance of the building permit indicating that a special exception has been granted and recording any conditions of approval, including a statement that the accessory building may only be used for personal use and cannot be used for any type of commercial or industrial purpose unless otherwise permitted by this chapter.

Section 10. Repeal and recreate the development standards for “Lakewood Farms Preserve (PDD-14)” in Appendix D to read as follows:

Lot size, minimum: 1.5 acres

Lot width, minimum: 200 feet

Side yard offset, minimum: 50 feet

Rear yard offset, minimum: 50 feet

Setback, minimum: 50 feet

Setback from conservancy, wetlands, and floodland, minimum: 75 feet

House floor area, minimum: 2,200 square feet for ranch, 2,800 square feet for 2-story

Garage floor area, minimum: 600 square feet

Floor area ratio (FAR), maximum: 15 percent

Accessory buildings are not allowed except for one pool cabana, accessory to inground pools, and one gazebo provided they are placed in the building envelope of the lot and within 100 feet of the main residence. The footprint of the same shall be no more than 160 square feet. Accessory structures as specified in this part are included towards the impervious surface and floor area calculations.

Open space per lot, minimum: 1.25 acres

Impervious surface, maximum: 10,000 square feet, except 7,500 square feet on Lots 4-9

Note: The property owner can apply for a permeable waiver up to 30 percent as set forth in the conditional use order as amended

Note: There are building envelopes on lots 4-9, 11-15, and 27-31

Note: There is a no-mow zone on lots 4-9

Unspecified standards: per SE zoning district

Section 11. The minimum offset for the A-1 district in Appendix C is changed from 30 feet to 20 feet.

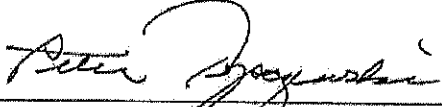
Section 12. The several sections of this ordinance are declared to be severable. If any section or portion thereof shall be declared by a court of competent jurisdiction to be invalid, unlawful, or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision and shall not affect the validity of any other provisions, sections, or portions thereof of the ordinance. The remainder of the ordinance shall remain in full force and effect. Any other ordinances whose terms are in conflict with the provisions of this ordinance are hereby repealed as to those terms that conflict.

Section 13. The Town of Mukwonago Town Clerk is directed to send three signed copies of this ordinance to the Waukesha County Clerk for approval of the Waukesha County Board of Supervisors.

Section 14. This ordinance shall take effect immediately upon passage and posting or publication as provided by law following approval by the Waukesha County Board of Supervisors.

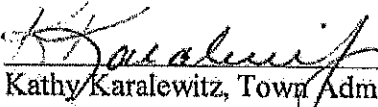
Adopted by a vote in favor by two-thirds of the members-elect of the Town Board, or more, this 14th day of July 2021

TOWN OF MUKWONAGO



Peter Topczewski, Town Chair

ATTEST:



Kathy Karalewitz, Town Administrator

Published and/or posted this 19 day of July, 2021

EXHIBIT "A"

STATE OF WISCONSIN

TOWN OF MUKWONAGO

WAUKESHA COUNTY

ORDINANCE 2021-O-__

- Public Hearing Draft -

AN ORDINANCE TO AMEND CHAPTER 36 OF THE MUNICIPAL CODE

WHEREAS, the Town Board for the Town of Mukwonago adopted a zoning code for the Town of Mukwonago in 1953 and has amended it from time to time since then; and

WHEREAS, that zoning code is codified as Chapter 36 of the Town of Mukwonago Municipal Code, titled "Town Zoning;" and

WHEREAS, the Plan Commission at their meeting on June 16, 2021, recommended various revisions to the zoning code as set forth herein; and

WHEREAS, allowing for proper notice, the Plan Commission and Town Board conducted a joint public hearing on July 14, 2021, to consider the amendment and to accept public comment; and

WHEREAS, the Plan Commission recommended approval at their meeting on ____, 2021; and

WHEREAS, the Town Board considered the Plan Commission's recommendation at their meeting on ____, 2021; and

WHEREAS, the Town Board finds that the recommended revisions to the Town's zoning regulations could potentially be interpreted to be a down zoning ordinance because it may decrease the development density of land or reduce the permitted uses of land, and therefore the super majority requirement in s. 66.10015, Wis. Stats, applies to this ordinance, requiring a vote in favor by two-thirds of the members-elect of the Town Board for passage and adoption; and

WHEREAS, the Town Board for the Town of Mukwonago, after carefully reviewing the recommendation of the Plan Commission for the Town of Mukwonago and having given the matter due consideration having determined that all procedural requirements and notice requirements have been satisfied, and having based its determination on the effect of the adoption of the ordinance on the health, safety and welfare of the community and the preservation and enhancement of property values in the community, and having given due consideration to the municipal problems involved hereby determine that the ordinance amendment will serve the public health, safety and general welfare of the Town of Mukwonago, will enhance property values in the Town and will not be hazardous, harmful, noxious, offensive or a nuisance, and will not unduly limit or restrict the use of property in the Town or for any other reason cause a substantial adverse effect on the property values and general desirability of the Town.

NOW, THEREFORE, the Town Board for the Town of Mukwonago, Waukesha County, does hereby ordain as follows:

Section 1. Repeal and recreate the development requirements for “Backyard chickens” as set forth in Appendix B (13.05) to read as follows:

Development Requirements:

(a) Legislative intent. The keeping of chickens on residential lots in the Town of Mukwonago is consistent with the Town's rural character and desire to foster sustainable agriculture while addressing issues related to public health, safety, and welfare.

(b) Generally. Backyard chickens are allowed as an accessory use to a single-family residence on lots that are 3 acres or smaller.

(c) Number. No more than 5 female chickens may be kept. The keeping of roosters is prohibited.

(d) Enclosure requirements. Chickens shall be provided with a covered enclosure that is (1) predator-proof; (2) thoroughly ventilated; (3) of sufficient size to allow the free movement of the chickens; and (4) designed to be easily accessed, cleaned, and maintained by the owners. Chickens must be kept in the covered enclosure or a fenced enclosure at all times.

(e) Enclosure considered a structure. A covered enclosure is considered a structure and is subject to all applicable restrictions in this chapter.

(f) Setback requirements. The covered enclosure housing chickens shall be located at least 25 feet from all property boundary lines and shall not be located in the front yard. In addition, the covered enclosure shall be located at least 50 feet from all existing dwelling units on adjoining properties. In the event a dwelling unit is constructed on an adjoining property after the covered enclosure is established under this chapter and the new dwelling is less than 50 feet from the enclosure, the enclosure is not required to be moved.

(g) General care and maintenance. The keeping of chickens shall not cause any nuisance or unhealthy condition, or otherwise interfere with the normal use of any property.

(h) Registration required. The owner, operator, or tenant shall register the premise where chickens are kept with the Wisconsin Department of Agriculture, Trade and Consumer Protection as required by state law and maintain such registration for so long as may be required.

(i) Storage of feed. Feed for the chickens shall be kept indoors or in a sealed container if kept out of doors.

(j) Licensing. The keeping of chickens under this section shall comply with any licensing requirements established by the Town of Mukwonago.

(k) Status as a building. One free-standing chicken coop with a roof not exceeding 48 square feet shall not be counted as an accessory building.

Section 2. Repeal and recreate the development requirements for “Household livestock” as set forth in Appendix B (13.15) to read as follows:

Development Requirements:

(a) Not in a subdivision. The parcel with this use shall not be located in a platted subdivision.

(b) Number of animals. On parcels smaller than 20 acres, the number of livestock shall not exceed one head for each full acre over 2 acres of land the number of poultry shall not exceed 20 fowl for each full acre over 2 acres. This means that there must be at least 3 acres to have any household livestock.

(c) Prohibited animals. The following are not permitted on parcels smaller than 20 acres: roosters, pigs, male goats, or fur-bearing animals.

(d) Buildings. Nonresidential buildings and other structures for the keeping of household livestock, such as barns, stables, riding arenas, and sheds, are allowed subject to compliance with all other requirements of this chapter.

(e) Location of buildings. A building that houses livestock and/or poultry shall be located at least 50 feet from any lot line.

(f) Manure management plan. The property owner shall submit a manure management plan to the plan commission for review and obtain approval of the same, if so requested by the plan commission.

(g) Buildings not a structure. A loafing shed is not counted as an accessory building, provided (1) the floor area is not more than 240 square feet, (2) it is located within a fenced enclosure, (3) it is constructed so it can be easily moved to another location (i.e., its moveable), (4) it is constructed of exterior building materials similar to the barn/stable, and (5) the number of loafing sheds is limited to the following: 3 to 5 acres - 1; 5.1 to 10 acres - 2; 10.1 to 20 acres - 3; and 20.1 to 35 acres - 4. In the event there are no livestock kept on the property for 6 consecutive months or more, all loafing sheds must be moved off the subject property.

Section 3. Create development requirements for “Play structure” as set forth in Appendix B (13.17) to read as follows:

Development Requirements:

(a) Status as a building. One play structure with a roofed area not exceeding 64 square feet shall not be counted as an accessory building.

Section 4. Repeal and recreate the development requirements for “Private kennel” as set forth in Appendix B (13.19) to read as follows:

Development Requirements:

(a) Limitation. The number of dogs is limited based on the parcel size as follows: Less than one acre - 2 dogs; one acre or more but less than 3 acres - 3 dogs; three acres or more but less than 5 acres - 4 dogs; five or more acres - 6 dogs.

(b) Status as a building. One free-standing dog enclosure with a roof not exceeding 48 square feet shall not be counted as an accessory building.

Section 5. Repeal and recreate the development requirements for "Farmstand, off-site" as set forth in Appendix B (14.03) to read as follows:

Development Requirements:

(a) **Not in a subdivision.** The parcel with this use shall not be located in a platted subdivision.

(b) **Location.** An off-site farmstand shall be located at least 30 feet from the base setback line and at least 20 feet from any other lot line.

(c) **Hours of operation.** If this use is located in a residential zoning district or a planned unit development district that allows residential uses, the hours of operation are limited to sunrise to sunset.

(d) **Number.** No more than one stand is allowed on any one premises.

(e) **Size limitation.** If a structure or building is used, the ground area shall not exceed 100 square feet.

(f) **Road access.** The parcel shall front on and have direct vehicle access to a major road as depicted on the zoning map.

(g) **Removal and clean up.** Within 24 hours following the close of the off-site farmstand, all features solely associated with the off-site farmstand shall be removed and all trash and debris shall be removed.

(h) Status as a building. One free-standing building with a roof not exceeding 100 square feet shall not be counted as an accessory building.

Section 6. Repeal and recreate the development requirements for "Farmstand, on-site" as set forth in Appendix B (14.04) to read as follows:

Development Requirements:

(a) **Limitation on sales.** Products offered for sale shall be produced on the premises.

(b) **Location.** An on-site farmstand shall be located at least 30 feet from the base setback line and at least 20 feet from any other lot line.

(c) **Hours of operation.** If this use is located in a residential zoning district or a planned unit development district that allows residential uses, the hours of operation are limited to sunrise to sunset.

(d) **Number.** No more than one stand is allowed on any one premises.

(e) **Use of structure.** A structure may be used to store or display products and for sales, provided the following conditions are met:

(1) **Term of use.** The structure is only used from April 1 through November 30 and is removed no later than December 10.

(2) **Floor area.** The floor area of the structure shall not exceed 500 square feet.

(3) Structure height. The height of the structure shall not exceed 12 feet.

(f) **Removal and clean up.** Within 24 hours following the close of the on-site farmstand, all features solely associated with the on-site farmstand shall be removed and all trash and debris shall be removed.

(g) Status as a building. One free-standing building with a roof not exceeding 100 square feet shall not be counted as an accessory building.

Section 7. Add the following definition to Appendix E in alphabetical order to read as follows:

Loafing shed A building open on one side that is placed in a pasture or other similar area to provide shelter for livestock

Section 8. Repeal and recreate the following definitions in Appendix E to read as follows:

Lot area As the context indicates, lot area can refer to the minimum required area, actual area, or proposed area.

Note: See s. ~~36-712~~ ~~8-712~~ that describes how lot area is measured.

Lot width As the context would indicate, lot width can refer to the minimum required distance, actual distance, or proposed distance.

Note: See s. ~~36-715~~ ~~8-715~~ that describes how lot width is measured.

Section 9. Repeal and recreate s. 36-719(c) to read as follows:

Sec. 36-719 Floor area of detached accessory buildings

(a) *Generally.* The total floor area of detached accessory buildings, whether temporary or permanent, shall comply with the standards in appendix C or D. As stated in s. 36-511, the floor area of rural accessory buildings is not included in this total.

(b) *Exception.* The plan commission may approve a special exception, consistent with the procedures and requirements of article 5, to allow a greater floor area, provided:

- (1) the detached building has no more than 4 side-by-side vehicles facing the right-of-way from which the dwelling unit has street access;
- (2) the detached building is not used for any commercial or industrial purposes, except as otherwise allowed by the chapter; and
- (3) the detached building complies with all other requirements of this chapter.

In making their decision, the plan commission shall consider the factors enumerated in article 5 and must make the following determinations:

- (1) the architecture of the accessory building is compatible with the dwelling unit;
- (2) the accessory building will not be adverse to the public health, safety or welfare;
- (3) the accessory building will not be in conflict with the spirit or intent of this chapter; and
- (4) the accessory building will not otherwise be detrimental to the town or the immediate neighborhood where the structure would be located.

The plan commission may impose such conditions it deems necessary including a requirement for screening and/or landscaping.

(c) *Deed restriction required with approval of special exception.* If the plan commission approves a special exception under subsection (b) above, a deed restriction, in a form approved by the town attorney, shall be filed in the Waukesha County register of deeds office, prior to issuance of the building permit indicating that a special exception has been granted and recording any conditions of approval, including the ~~reduction in the permitted square footage of accessory buildings and a statement that the attached~~ garage accessory building may only be used for personal use and cannot be used for any type of commercial or industrial purpose unless otherwise permitted by this chapter.

Section 10. Repeal and recreate the development standards for "Lakewood Farms Preserve (PDD-14)" in Appendix D to read as follows:

Lot size, minimum: 1.5 acres

Lot width, minimum: 200 feet

Side yard offset, minimum: 50 feet

Rear yard offset, minimum: 50 feet

Setback, minimum: 50 feet

Setback from conservancy, wetlands, and floodland, minimum: 75 feet

House floor area, minimum: ~~2,200~~2,000 square feet for ranch, 2,800 square feet for 2-story

Garage floor area, minimum: 600 square feet

Floor area ratio (FAR), maximum: 15 percent

Accessory buildings are not allowed, ~~except on Lots 1 and 33~~ except for one pool Pool cabanas, accessory to inground pools, and one gazebos ~~are allowed on the individual lots. The same shall be provided they are placed in the building envelope of the lot and within 100 feet of the main residence. The footprint of the same shall be no more than 160 square feet. The design, placement, and construction is subject to the Architectural Control Committee of the HOA. Accessory structures as specified in this part~~ are included towards the impervious surface and floor area calculations.

Open space per lot, minimum: 1.25 acres

Impervious surface, maximum: 10,000 square feet, except 7,500 square feet on Lots ~~4-9~~4-10

Note: The property owner can apply for a permeable waiver up to 30 percent as set forth in the conditional use order as amended

Note: There are building envelopes on lots ~~5-10~~4-9, 11-15, and 27-31

Note: There is a no-mow zone on lots ~~5-10~~4-9

Unspecified standards: per SE zoning district

Section 11. The minimum offset for the A-1 district in Appendix C is changed from 30 feet to 20 feet.

Section 12. The several sections of this ordinance are declared to be severable. If any section or portion thereof shall be declared by a court of competent jurisdiction to be invalid, unlawful, or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision and shall not affect the validity of any other provisions, sections, or portions thereof of the ordinance. The remainder of the ordinance shall remain in full force and effect. Any other ordinances whose terms are in conflict with the provisions of this ordinance are hereby repealed as to those terms that conflict.

Section 13. The Town of Mukwonago Town Clerk is directed to send three signed copies of this ordinance to the Waukesha County Clerk for approval of the Waukesha County Board of Supervisors.

Section 14. This ordinance shall take effect immediately upon passage and posting or publication as provided by law following approval by the Waukesha County Board of Supervisors.

Adopted by a vote in favor by two-thirds of the members-elect of the Town Board, or more, this ___ day of _____ 2021

TOWN OF MUKWONAGO

Peter Topczewski, Town Chair

ATTEST:

Kathy Karalewitz, Town Administrator

Published and/or posted this ___ day of _____, 2021

1 AMEND THE DISTRICT ZONING MAP OF THE TOWN OF GENESEE ZONING CODE BY
2 CONDITIONALLY REZONING CERTAIN LANDS LOCATED IN PART OF THE SW ¼, NW ¼ AND SE ¼
3 OF SECTION 35, T6N, R18E, TOWN OF GENESEE, WAUKESHA COUNTY, WISCONSIN FROM
4 THE A-2 RURAL HOME DISTRICT TO THE R-1 RESIDENTIAL DISTRICT (RZ88)
5
6

7 WHEREAS, after proper notice was given, a public hearing was held and the subject matter of
8 this Ordinance was approved by the Genesee Town Board on July 12, 2021; and
9

10 WHEREAS, the matter was referred to and considered by the Waukesha County Park and
11 Planning Commission, which recommended approval and reported that recommendation to the
12 Land Use, Parks and Environment Committee and the Waukesha County Board of Supervisors,
13 as required by Section 60.62, Wis. Stats.
14

15 THE COUNTY BOARD OF SUPERVISORS OF THE COUNTY OF WAUKESHA ORDAINS that the
16 District Zoning Map for the Town of Genesee Zoning Code, adopted by the Town of Genesee on
17 July 1, 2015, is hereby amended to conditionally rezone certain lands located in part of the SW
18 ¼, NW ¼ and SE ¼ of Section 35, T6N, R18E, Town of Genesee, Waukesha County, Wisconsin
19 from the A-2 Rural Home District to the R-1 Residential District, and more specifically described
20 in the "Staff Report and Recommendation" and map on file in the office of the Waukesha
21 County Department of Parks and Land Use and made a part of this Ordinance by reference
22 RZ88, is hereby approved, subject to the conditions set forth in the Town of Genesee Ordinance
23 No. 21-3.
24

25 BE IT FURTHER ORDAINED that the Waukesha County Clerk shall file a certified copy of this
26 Ordinance with the Town Clerk of Genesee.
27

28 BE IT FURTHER ORDAINED that this Ordinance shall be in full force and effect upon passage,
29 approval and publication.

COMMISSION ACTION

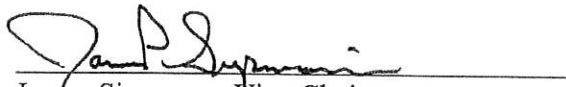
The Waukesha County Park and Planning Commission after giving consideration to the subject matter of the Ordinance to amend the Town of Genesee Zoning Code hereby recommends approval of **RZ88 (TKS Corporation)** in accordance with the attached "Staff Report and Recommendation".

PARK AND PLANNING COMMISSION

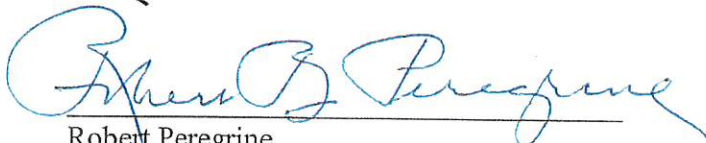
August 19, 2021



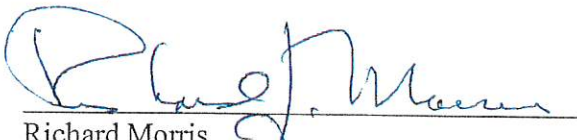
William Mitchell, Chairperson




James Siepmann, Vice Chairperson



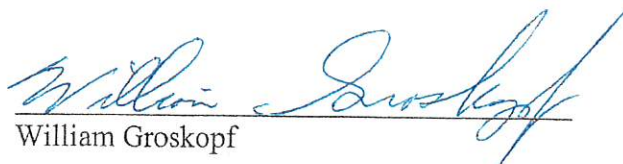
Robert Peregrine



Richard Morris



Thomas Michalski



William Groskopf

WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE
STAFF REPORT AND RECOMMENDATION
ZONING MAP AMENDMENT

DATE: August 19, 2021

FILE NO.: RZ88

TAX KEY NO.: GNT 1579.999

PETITIONER/ OWNER: TKS Corporation
2310 Woodfield Drive
Waukesha, WI 53188

LOCATION:

The property is located in part of the SW ¼, NW ¼ and SE ¼ of Section 35, T6N, R18E, Town of Genesee and contains approximately 105 acres.

EXISTING ZONING:

The property is zoned A-2 Rural Home District, A-E Exclusive Agricultural Conservancy District, EC Environmental Corridor District, C-1 Conservancy District (Town).

PROPOSED ZONING:

The request is to rezone approximately 33.3 acres of the A-2 District to the R-1 Residential District retaining a small amount of A-2 zoned land as well as the A-E, EC, and C-1 Districts (Town).

EXISTING LAND USE: Agricultural and undeveloped

PROPOSED LAND USE: Sixteen lot residential subdivision

PUBLIC HEARING DATE: May 24, 2021

PUBLIC REACTION:

A citizen who resides on Saylesville Road commented that he would prefer to see 3 acre lots, asked if any of the lots infringe on the wetlands, and was concerned about safety along CTH X. The Town Planner responded these issues would be reviewed during the preliminary plat process. Another person stated they were not in favor of the previously approved Land Use Plan amendment for the property. Two citizens who reside on McFarlane Road expressed concerns regarding the culvert which runs through their property and asked if there would be extra drainage from this project causing water to back up on their property. The Town Planner responded this would also be part of the stormwater review in conjunction with the plat review and that the runoff would be required to be retained on site. Another person stated they would like to keep the character of the district which is 3 acres. Someone asked if the County also approves the rezone. The Town Planner responded that this is a town rezone request. Finally, someone asked if the conservancy lands would be private or public. The developer responded they would be private. It should be noted that the developer subsequently is working with the Waukesha County Land Conservancy on conservation easements across Lots 10 and 11.

TOWN PLAN COMMISSION:

On June 28, 2021, the Town Plan Commission unanimously recommended approval of the rezoning request to the Town Board.

TOWN BOARD ACTION:

On July 12, 2021, the Town Board approved the rezoning request with the seven (7) conditions outlined in the Town of Genesee Ordinance No. 21-3 (attached).

COMPLIANCE WITH THE WAUKESHA COUNTY DEVELOPMENT PLAN (CDP) AND THE TOWN OF GENESEE LAND USE PLAN (LUP):

The Town LUP and County CDP were recently amended, subject to County Executive approval and official publishing, to designate the land adjacent to CTH X on the subject parcel as Suburban I Density Residential (1.5-2.9 ac/du) with the remainder of the property designed as Other Open Lands to be Preserved and Secondary Environmental Corridor. The proposed rezone will comply with both plans as amended.

STAFF ANALYSIS:

The property is currently zoned A-2 Rural Home District, A-E Exclusive Agricultural Conservancy District, EC Environmental Corridor District, and C-1 Conservancy District under the Town of Genesee Zoning Code. The zoning amendment only proposes to rezone a portion of those lands zoned A-2 Rural Home District (3-acre minimum lot size) to the R-1 Residential District (1-acre minimum lot size). Only the lands immediately adjacent to CTH X which are zoned A-2 Rural Home District are proposed to be rezoned (approximately 33.3 acres), with the small area along the south-central lot line to remain zoned A-2 on the Town of Genesee's Zoning Map.

The neighboring lands, on the southeast side of CTH X and east side of STH 83, are primarily zoned A-2 Rural Home District, however, the subdivisions across from the subject property on the northwest side of CTH X are zoned R-1 Residential. The proposed zoning is consistent with those neighboring developments to the northwest and allows for additional lots while preserving the environmentally sensitive areas in open space.

The subject property contains several natural resource features. The Southeastern Wisconsin Regional Planning Commission delineated the natural features on the property and identified a fen, which is a rare type of wetland that is groundwater fed (refer to Exhibit A) in the central area of proposed Outlot 1. The fen has been designated as a proposed Natural Area site and named Saylesville Road Fen and will become part of the newly updated Regional Natural Areas and Critical Species Habitat Plan. The site also contains areas of wetland, steep slopes, a prairie remnant, and upland woods. Most of the natural resources are part of a large area of Secondary Environmental Corridor (SEC) on the property. There are approximately 56 acres of wetlands and 20.8 acres of upland SEC on the 105-acre property.

The neighborhood setting includes suburban type development to the northwest and west, and rural uses to the south and east. The request is being brought forward to accommodate a residential subdivision. The proposed concept plan designates a total of 16 lots, 15 of which would be served by a new internal road system that would access CTH X immediately aligned with Loraine Drive. The County Department of Public Works has reviewed the proposed CTH X (Saylesville Road) access location opposite Loraine Drive and found the location to be acceptable for site distance. Lot 16 would be accessed via Genesee Pass.

As noted above, Outlot 1 would contain the fen, as well as other areas of wetland, and much of the mature woodland on the property. Lots 10 and 11 would be much larger in size than the other lots in the proposed subdivision and contain extensive areas of wetland that extend to the east property boundary. The developer has been in discussions with the Waukesha County Land Conservancy regarding a conservation easement across most of the sensitive areas of these two large lots.

The petitioner has submitted multiple concept plans to the town and county over the past number of months. At the Development Review Team meeting for the project in August of 2020, town and county staff recommended a conservation design and the elimination of the large lots encroaching into the vast wetlands on the site. The petitioner expressed at the time that he felt that the two large lots are important to make the project financially viable. He wishes to be able to market those two lots as having potential for hunting. He did express willingness to conserve the fen on the Outlot. The most recent concept plan, submitted as part of the CDP amendment (refer to Exhibit B), indicates an adjustment to the boundaries of Outlot 1, Lot 9 and Lot 10 which now places the entirety of the fen area on Outlot 1 and keeps Lot 9 from encroaching upon the wetland, as recommended by County staff.

STAFF RECOMMENDATION:

Based on the above analysis, the Planning and Zoning Division Staff recommends approval of the rezone request, subject to the seven (7) conditions outlined in Town Ordinance No. 21-3. As conditioned, the property will be developed as a hybrid conservation/conventional subdivision design that will be reviewed by the required Town and County entities to ensure that it complies with the respective Town Land Division and Development Ordinance and Land Use Plan, the Waukesha County Comprehensive Development Plan and Stormwater Management and Sediment and Erosion Control Ordinance, and the requirements of the Waukesha County Environmental Health Division and the Department of Public Works. The most significant natural resources, including the Fen Natural Area, wetlands, and much of the mature woods will be conserved as open space in an outlot. Wetland areas on Lots 10 and 11 will be protected via a conservation easement. The rezone amendment will allow for additional subdivision lots while providing for significant preservation of the natural environment. Ownership of the fen Outlot by a local conservancy organization and conservation easements across other privately owned wetlands will ensure the preservation of the best natural features on the site. Therefore, the request complies with the purpose and intent of the Town of Genesee's Zoning Code and the Waukesha County CDP and the Town of Genesee's LUP.

Respectfully submitted,

Jacob Heermans

Jacob Heermans
Senior Land Use Specialist

Attachments: Town Ordinance No. 21-3
Exhibit A
Exhibit B
Map

N:\PRKANDLU\Planning And Zoning\Rezoning\Staff Reports\RZ88 TKS Corp Gnt.Docx

STATE OF WISCONSIN

TOWN OF GENESEE

WAUKESHA COUNTY

ORDINANCE 21-3

RECEIVED
AUG 03 2021
DEPT OF PARKS & LAND USE

An Ordinance to Conditionally amend the Zoning Map of the Town of Genesee from A-2 Rural Home District to R-1 Residential District on lands located in the SW ¼, NW ¼ and the SE ¼ of Section 35, T6N, R18E, Town of Genesee, Waukesha County Wisconsin

WHEREAS, an Application dated March 3, 2021 having been filed by Timothy Schaefer, as agent for TKS Corporation ("Owner"), to rezone the lands commonly referred to as Tax Key Number GNT 1579.999 in the Town of Genesee, Waukesha County, Wisconsin, which are more particularly described in the attached Exhibit A (the "Subject Property"); and

WHEREAS, the Owner seeks to rezone the Subject Property to permit its development and use as a residential subdivision for up to 16 residences; and

WHEREAS, the initial Application and related information has been available for public inspection in the office of the Town Clerk since May 1, 2021; and

WHEREAS, the Application was considered by the Town of Genesee Plan Commission at a regular meeting held on June 28, 2021 upon due notice to the public. The Plan Commission finds that the proposed use and development will not have a substantial or undue adverse or detrimental effect upon or endanger adjacent property, the character of the area, or the public health, safety, morals, comfort, and general welfare and will not substantially diminish and impair property values within the community or neighborhood.

WHEREAS, the Plan Commission has recommended to the Town Board that the requested zoning be made subject to satisfaction of certain conditions that are incorporated herein; and

WHEREAS, notice having been properly given, a public hearing was held on May 24, 2021; and

WHEREAS, having determined that all procedural and notice requirements have been satisfied, having given the matter due consideration, and having based its determination on the effect of the granting of such rezoning on the health, safety, and welfare of the community and the immediate neighborhood in which said use will be located, and having given due consideration to the municipal problems involved as well as the impact on the community as to noise, dust, smoke, odor, and others, hereby determines that the rezoning will not violate the spirit or intent of the Zoning Code for the Town of Genesee, will not be contrary to the public health, safety, or general welfare of the Town of Genesee, will not be hazardous, harmful, noxious, offensive, or a nuisance by reason of noise, dust, smoke, odor, or other similar factors and will not, for any other reason, cause a substantial adverse effect on the property values and general desirability of the neighborhood as long as the operation is conducted pursuant to the following conditions and in strict compliance with the same and is consistent with the recommendations found in the Town of Genesee Land Use Plan - 2035;

NOW, THEREFORE, The Town Board of Genesee, Waukesha County, Wisconsin, DOES HEREBY ORDAIN AS FOLLOWS:

Section 1:

The Town of Genesee Zoning Map is hereby conditionally amended to change the zoning classification from A-2 Rural Home District to R-1 Residential District on the following described parcel of land:

A part of the SW $\frac{1}{4}$, NW $\frac{1}{4}$, and the SE $\frac{1}{4}$ of Section 35, T6N, R18E, Town of Genesee. More specifically, the property is also known as Tax Key No. GNT 1579.999.

Rezoning of the Property is subject to Owner's satisfaction of all of the following conditions:

1. There shall be a maximum of sixteen (16) Single-Family Residential Lots.
2. Compliance with the Waukesha County Development Plan.
3. Compliance with all the requirements of the Town of Genesee Land Division and Development Ordinance.
4. The subdivision plat shall be reviewed and approved by the Town of Genesee Plan Commission, Town Board and Waukesha County.
5. The development shall comply in all respects, with the Waukesha County Stormwater Management and Sediment and Erosion Control Ordinance.
6. The petitioner shall comply with all requirements of Waukesha County Department of Public Works regarding all necessary improvements to the intersection of the proposed access road and Saylesville Road (C.T.H. X).
7. A private conservation organization or local municipality shall own or have an easement over all of the environmentally sensitive areas, including all of the wetlands and the fen, but not including all of the Environmental Corridor area. A copy of the Easement shall be reviewed and approved by the Town Attorney and Town Planner and presented to the Town Board for final approval, prior to signing the final plat.

Section 2: Severability.

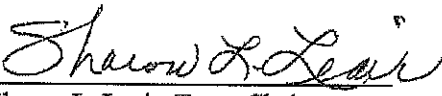
The several sections of this ordinance are declared to be severable. If any section or portion thereof shall be declared by a court of competent jurisdiction to be invalid, unlawful or unenforceable, such decision shall apply only to the specific section or portion thereof directly specified in the decision, and shall not affect the validity of any other provisions, sections or portions thereof of the ordinance. The remainder of the ordinance shall remain in full force and effect. Any other ordinances whose terms are in conflict with the provisions of this ordinance are hereby repealed as to those terms that conflict.

Section 3: Effective Date.

This ordinance shall take effect immediately upon passage by Waukesha County and posting or publication as provided by law.

This ordinance passed this 12th day of July, 2021.

BY THE TOWN BOARD OF THE
TOWN OF GENESEE:


Sharon L. Leair, Town Chairman

ATTEST:


Meri Majeskie, Town Clerk

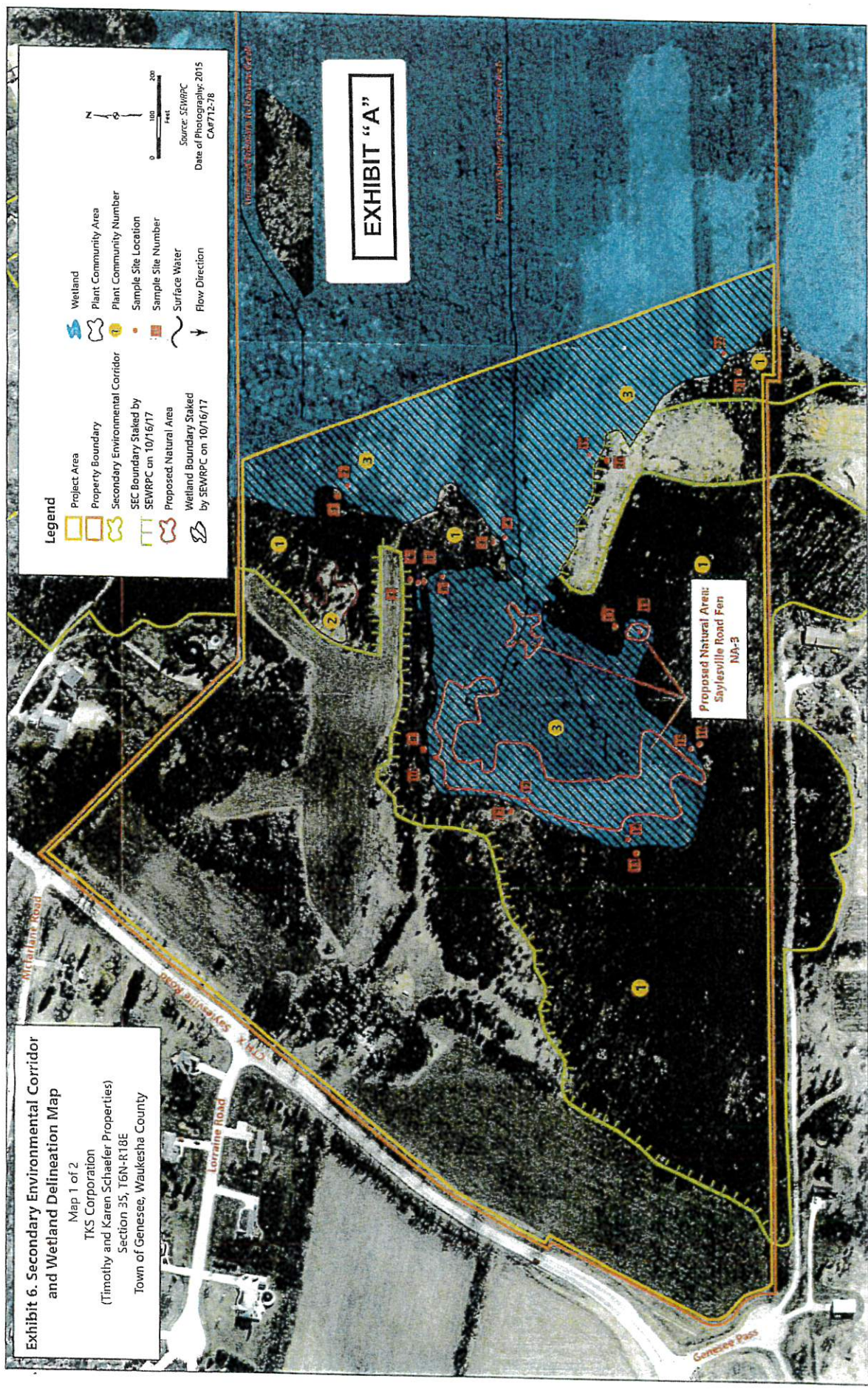


Exhibit 6. Secondary Environmental Corridor and Wetland Delineation Map
 Map 1 of 2
 TKS Corporation
 (Timothy and Karen Schaefer Properties)
 Section 35, T6N-R18E
 Town of Genesee, Waukesha County

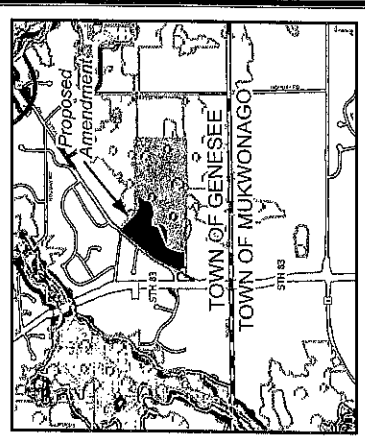
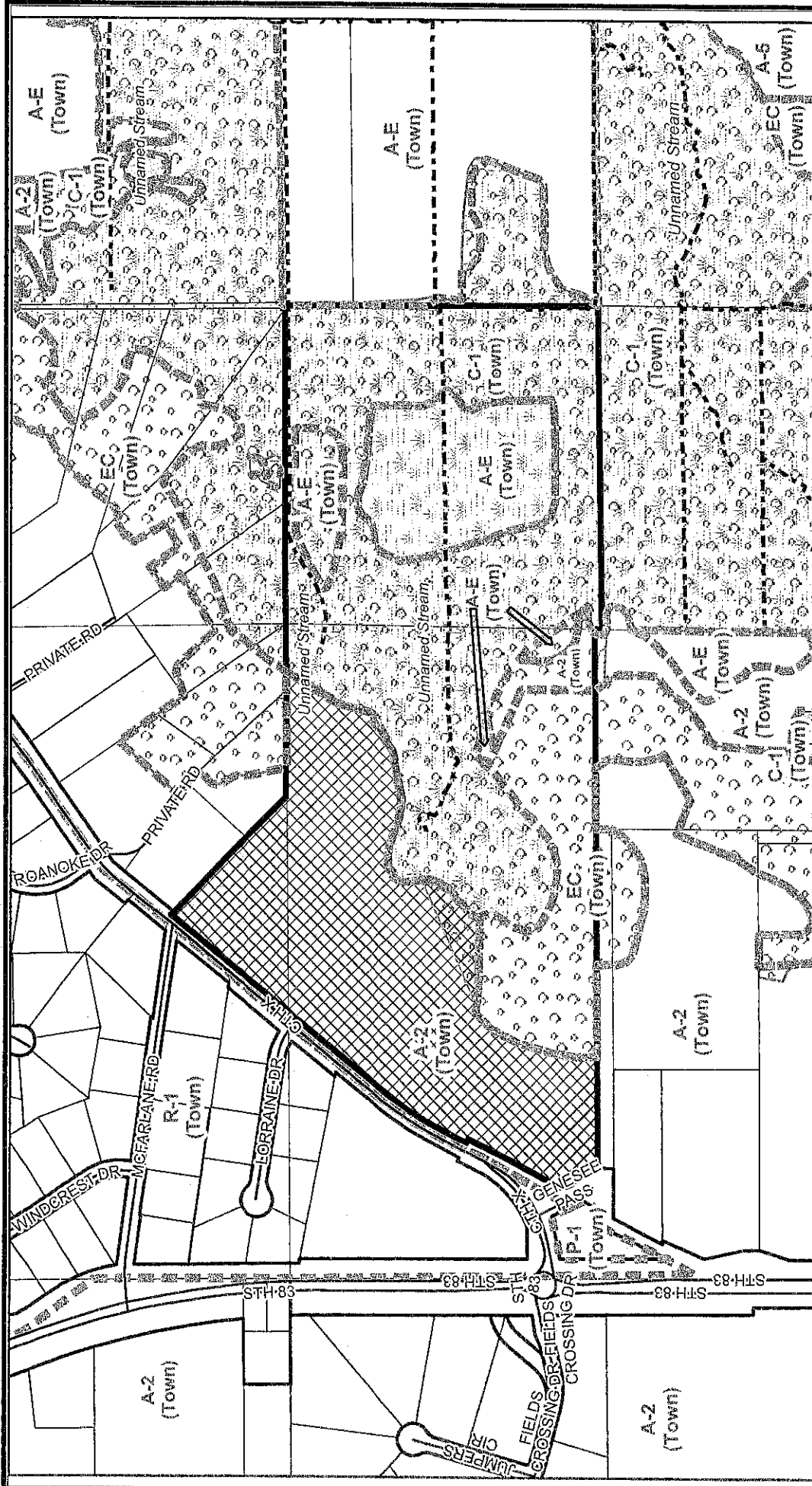
Legend

- Project Area
- Property Boundary
- Secondary Environmental Corridor
- SEC Boundary Staked by SEWRPC on 10/16/17
- Proposed Natural Area
- Wetland Boundary Staked by SEWRPC on 10/16/17
- Wetland
- Plant Community Area
- Plant Community Number
- Sample Site Location
- Sample Site Number
- Surface Water
- Flow Direction

Source: SEWRPC
 Date of Photography: 2015
 CA#712-78

EXHIBIT "A"

Proposed Natural Area:
 Saylesville Flood Fen
 NA-3



CONDITIONAL TOWN ZONING CHANGE FROM A-2 RURAL HOME DISTRICT TO R-1 RESIDENTIAL DISTRICT

- Environmental Corridor Overlay
- C-1 Conservancy Overlay

FILE.....RZ88
 DATE OF PLAN COMMISSION.....8/19/21
 AREA OF CHANGE.....33.3 ACRES
 TAX KEY NUMBER.....GNT-1579999



Prepared by the Wautesha County Department of Parks and Land Use

ZONING AMENDMENT

PART OF THE NW 1/4, SW 1/4, AND SE 1/4 OF SECTION 35, TOWN OF GENESEE

1 MODIFY THE 2021 TRANSPORTATION FUND BUDGET TO APPROPRIATE REVENUES
2 AND EXPENDITURES TO PURCHASE A TRUCK MOUNTED ATTENUATOR
3
4

5 WHEREAS, the Waukesha County Department of Public Works provides road maintenance work
6 to the State of Wisconsin on the State Trunk Highway System; and
7

8 WHEREAS, the State of Wisconsin reimburses the County for labor, materials, and equipment
9 costs for work performed on the State Trunk Highway System; and
10

11 WHEREAS, the State of Wisconsin desires Waukesha County to purchase a truck mounted
12 attenuator for use by Waukesha County Department of Public Works Highway Operations
13 Division to increase safety in work zones; provided by Wisconsin Department of Transportation
14 (WisDOT); and
15

16 WHEREAS, the State of Wisconsin will reimburse the County the full cost of purchasing this
17 safety equipment.
18

19 THE COUNTY BOARD OF SUPERVISORS OF THE COUNTY OF WAUKESHA ORDAINS that the 2021
20 Department of Public Works Transportation Fund – Highway Operations budget be modified to
21 increase the Fixed Asset appropriation by \$28,000 to purchase a truck mounted attenuator and
22 increase General Governmental Revenue by \$28,000 for the state revenue reimbursement of
23 this purchase.

FISCAL NOTE

MODIFY THE 2021 TRANSPORTATION FUND BUDGET TO APPROPRIATE REVENUES
AND EXPENDITURES TO PURCHASE A TRUCK MOUNTED ATTENUATOR

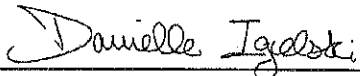
This ordinance modifies the 2021 Department of Public Works – Transportation Fund – State Highway Operations Program budget to appropriate additional revenue and fixed asset expenditure authority in the amount of \$28,000. This will fund the purchase of a truck mounted attenuator to be used in highway operations.

The truck mounted attenuator is a device that attaches to the back of a patrol truck to help protect county work crews and the traveling public from severe consequences of rear-end crashes that may occur in work zones. It acts as a protective cushion device intended to absorb high-energy vehicle impacts and minimize the impacts of a crash. The truck mounted attenuator is certified and rated for vehicles traveling 70 miles per hour.

This equipment will be used primarily for work performed for the State of Wisconsin on county and state trunk highways and has an estimated 10-year useful life. If the county wanted to dispose of this equipment prior to the end of its estimated life, the county and the state must agree on the financial terms associated with this disposal.

The truck mounted attenuator will be paid for by the state via reimbursement to the county and the county will store and maintain the equipment as a county asset. The equipment will be transferred from the State to the county.

This ordinance results in no additional direct tax levy impact.



Danielle Igielski
Accounting Services Manager
09/07/2021
MYB
JE #2020-00006270

1 MODIFY THE 2021 DEPARTMENT OF PUBLIC WORKS, AIRPORT OPERATIONS FUND BUDGET
2 REVENUES AND EXPENDITURES TO ACCEPT FEDERAL CORONAVIRUS RELIEF FUNDS
3
4

5 WHEREAS, the Airport Operations Fund budget of the Department of Public Works is set up as
6 an enterprise fund to account for the expenses and revenues associated with providing services
7 and operating the Waukesha County Airport; and
8

9 WHEREAS, the Airport is not supported by tax levy; and
10

11 WHEREAS, the Federal Aviation Administration (FAA) and Wisconsin Bureau of Aeronautics
12 (BOA) has allocated Coronavirus Aid, Relief, and Economic Security Act (CARES) Airport Grant
13 Program funds to the Waukesha County Airport in the amount of \$157,000 for the purpose of
14 covering expenses related to airport operation and maintenance costs; and
15

16 WHEREAS, the FAA and BOA has allocated Coronavirus Response and Relief Supplemental
17 Appropriation Act (CRRSSA) Airport Grant Program funds to the Waukesha County Airport in
18 the amount of \$23,000 for the purpose of covering expenses related to airport operations; and
19

20 WHEREAS, the FAA and BOA has allocated American Rescue Plan Act (ARPA) Airport Rescue
21 Grant Program funds to the Waukesha County Airport in the amount of \$59,000 for the
22 purpose of covering expenses related to airport operations and maintenance costs; and
23

24 WHEREAS, available revenues were not included in the 2021 budget; and
25

26 WHEREAS, the Waukesha County Airport has experienced higher than average contracted snow
27 removal costs and general airport maintenance expenses.
28

29 THE COUNTY BOARD OF SUPERVISORS OF THE COUNTY OF WAUKESHA ORDAINS that 2021
30 Department of Public Works, Airport Operations Fund budget be modified to increase General
31 Government revenues by \$239,000, and appropriate \$239,000 of Operating Expenses to
32 provide for increased expenditures associated with airport operations and general
33 maintenance.

Fiscal Note

MODIFY THE 2021 DEPARTMENT OF PUBLIC WORKS, AIRPORT OPERATIONS FUND BUDGET REVENUES AND EXPENDITURES TO ACCEPT FEDERAL CORONAVIRUS RELIEF FUNDS AND AUTHORIZE EXPENDITURES

This ordinance will modify the Airport Operations Fund budget by increasing the operating budget by \$239,000 and increasing general government revenue by \$239,000 to cover airport operations contracted roadway maintenance and building maintenance costs. According to the department, \$239,000 is needed to cover higher than average contracted snow removal costs and unanticipated general airport maintenance costs at the Waukesha County Airport. Three federal sources are available to cover these airport operations and maintenance costs: Federal Aviation Administration (FAA) and Wisconsin Department of Transportation – Bureau of Aeronautics (BOA) – Coronavirus Air, Relief, and Economic Security Act (CARES) Airport Grant Program Funds in the amount of \$157,000; Coronavirus Response and Relief Supplemental Appropriation Act (CRRSSA) Airport Grant Program Funds in the amount of \$23,000; and American Rescue Plan Act (ARPA) Airport Rescue Grant Program Funds in the amount of \$59,000.

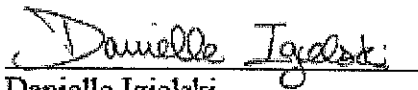
The department plans to use the federal coronavirus relief funds in the following categories:

| Description / Justification | Amount |
|--|------------------|
| Pavement Markings (Repaint "hold short" airport runway critical safety markings) | \$2,700 |
| Roadway/Runway/Parking Lot Maintenance (Order deicer specifically used on airport runways) | \$13,800 |
| Mechanical / Electrical Equipment Repairs/Maintenance (Replace main boiler at the terminal – old boiler original to the building (1997)) | \$12,500 |
| Building Exterior Repairs/Maintenance (Repair or replace siding on storage building on north side of the airport, make critical hangar roof repairs, repair large door on the snow removal equipment building) | \$8,500 |
| Lawn and Landscape Maintenance (Cover higher than anticipated contracted services costs) * | \$16,100 |
| Roadway Maintenance Services (Cover higher than anticipated contracted snow removal costs) * | \$185,400 |
| TOTAL: | \$239,000 |

*For 2022 and beyond, more maintenance work is expected to be performed by increasing airport grounds temporary help staff.

According to department management, without these federal funds, requested services would need to be reduced, repairs would need to be delayed, or Airport Fund balance would need to be requested to cover the costs.

There is no tax levy impact associated with this ordinance.



Danielle Igielski
Accounting Services Manager
09/08/2021
MYB

1 MODIFY THE 2021-2025 CAPITAL PLAN FOR THE CREATION OF CAPITAL PROJECT #202110 –
2 AIRPORT RAMP REHABILITATION PROJECT TO REHABILITATE THE AIRPORT EXECUTIVE
3 TERMINAL RAMP, SOUTH TIE-DOWN RAMP, AND THE WEST EXCLUSIVE USE RAMP
4
5

6 WHEREAS, the Waukesha County Airport completed phases one and two of the Airport Ramp
7 Expansion Project #201621 in 2016 and 2017; and
8

9 WHEREAS, an evaluation of the planned third phase of the Airport Ramp Expansion Project
10 found that the expanded ramp is not necessary to support aircraft operations at this time; and
11

12 WHEREAS, the Waukesha County Airport Manager was notified by the Wisconsin Bureau of
13 Aeronautics (BOA) that authorization was received and funding approved to begin design
14 work for the rehabilitation and reconstruction of the ramps in 2021; and
15

16 WHEREAS, the original Airport Executive Terminal Ramp, the South Tie-Down Ramp, and the
17 West Exclusive Use Ramp were paved in 1997 and are in need of rehabilitation and
18 reconstruction; and
19

20 WHEREAS, the rehabilitation of the Airport Executive Terminal and South Tie-Down Ramps is
21 expected to cost \$2,970,500 of which \$149,000 would be paid by Waukesha County; and
22

23 WHEREAS, the County's share of design and engineering costs in 2021 is estimated at \$9,000,
24 which requires a budget modification of the current year; and
25

26 WHEREAS, the remaining County share of costs of \$140,000 for construction in 2022 will be
27 incorporated and managed in the Airport's 2022-2026 capital plan request; and
28

29 WHEREAS, the rehabilitation of the West Exclusive Use Ramp is expected to cost \$310,000,
30 of which \$310,000 would be paid by Atlantic Aviation; and
31

32 WHEREAS, the change in scope for Project #201621 is significant enough that it warrants
33 closing project #201621 and creating a new project; and
34

35 WHEREAS, Project #201621 will be closed and the remaining project funds will lapse to
36 Airport Fund Balance.
37

38 THE COUNTY BOARD OF SUPERVISORS OF WAUKESHA COUNTY ORDAINS that the Waukesha
39 County Adopted 2021-2025 Capital Plan be modified by creating Capital Project #202110 –
40 Airport Ramp Rehabilitation to allocate funds to rehabilitate the Airport Executive Terminal
41 Ramp, the South Tie-Down Ramp, and the West Exclusive Use Ramp.
42

43 BE IT FURTHER ORDAINED that the 2021 Capital Project budget be modified to appropriate
44 additional expenditures of \$9,000 and increase Airport Fund Balance usage of \$9,000 for
45 Capital Project #202110 – Airport Ramp Rehabilitation.

| | | | |
|-----------------------|-------------------------------------|----------------------|--------------------------------|
| Project Title: | Airport Ramp Rehabilitation Project | Project #: | 202110 |
| Department: | Public Works - Airport | Project Type: | Airport |
| Phase: | Preliminary Design | Sponsor: | Public Works |
| Budget Action: | New | Manager: | Allison Bussler – DPW Director |
| Date: | August 30, 2021 | | |

| CAPITAL BUDGET SUMMARY | | | | | |
|------------------------------------|----------------------|------------------|---------------------------------|------------|------------------|
| Year | 2021 | 2022 | 2023 | 2024/2025 | Total |
| Project Phase | Design & Engineering | Construction | | | Project |
| Expenditure Budget | \$9,000 | \$450,000 | \$0 | \$0 | \$459,000 |
| Revenue Budget | <u>\$9,000</u> | <u>\$450,000</u> | <u>\$0</u> | <u>\$0</u> | <u>\$459,000</u> |
| Net County Cost | \$0 | \$0 | \$0 | \$0 | \$0 |
| COST DOCUMENTATION | | | REVENUE | | |
| Design & Engineering | \$171,600 | | Federal Aviation Administration | | \$2,672,500 |
| Construction (Executive and South) | \$2,603,600 | | Wisconsin Bureau of Aeronautics | | \$149,000 |
| Construction (West) | \$310,000 | | County Airport Fund Balance | | \$149,000 |
| Contingency | <u>\$195,300</u> | | Atlantic Aviation LLC | | <u>\$310,000</u> |
| Total Project Cost | \$3,280,500 | | Total Revenue | | \$3,280,500 |
| EXPENDITURE BUDGET | \$149,000 | | REVENUE BUDGET | | \$149,000 |

Project Scope & Description: This project will rehabilitate two major sections of the Terminal Ramp Area: Executive Terminal Ramp and the South Tie-Down Ramp. A third section, the West Ramp, is an Exclusive Use ramp by Atlantic Aviation, LLC, and will be rehabilitated per their Fixed Base Operator (FBO) Lease and Operating Agreement with Waukesha County. Atlantic Aviation will cover the entire cost of the West Ramp rehabilitation. The original Terminal Ramp pavement is approaching 24 years old.

Location: Waukesha County Airport Terminal Ramp

Analysis of Need: This project will rehabilitate three major sections of the Terminal Ramp Area. The Executive Terminal Ramp is currently concrete pavement with a PCI of 67 which indicates a major rehabilitation is necessary. The South Tie-Down Ramp is currently constructed in asphalt and is in poor condition with a PCI of 46 which indicates a major rehabilitation, or a reconstruction is needed. The area is proposed to be reconstructed with an asphalt pavement section. The West Ramp is concrete pavement and has a PCI of 55 which also indicates major rehabilitation is needed. The work on the Executive Terminal and West Ramps will consist of spall repairs, partial panel replacement, full panel replacements, partial depth repairs, crack repairs and joint resealing. These pavements have not had major rehabilitation or reconstruction since 1997 and will continue to rapidly deteriorate without the proposed reconstruction and rehabilitation work. Work also includes improvements to storm water management, airfield lighting and signage in the terminal ramp area.

Alternatives: If the terminal pavement is not rehabilitated, deterioration will continue and necessitate a larger project in later years up to and including replacement.

Ongoing Operating Revenues/Costs: There are no new ongoing costs due to this rehabilitation. Maintenance estimates in future years will be reduced by rehabilitating the existing pavement.

Previous Action: Originally, capital project #201621 – Airport Ramp Expansion Project, allowed for the expansion of the Terminal Ramp area to accommodate a parking area for larger corporate aircraft as the third phase of the project. The original planned third phase is no longer a priority need. This project represents a change in scope of project #201621. However, the scope change is significant enough to warrant this new project request.

Fiscal Note

MODIFY THE 2021-2025 CAPITAL PLAN FOR THE CREATION OF CAPITAL PROJECT #202110 – AIRPORT RAMP REHABILITATION PROJECT TO REHABILITATE THE AIRPORT EXECUTIVE TERMINAL RAMP, SOUTH TIE-DOWN RAMP, AND THE WEST EXCLUSIVE USE RAMP

This ordinance modifies the 2021-2025 capital plan to create capital project #202110 – Airport Ramp Rehabilitation Project and modifies the 2021 capital project budget. Department management indicates that this project was not included in the proposed 2021-2025 capital plan as the Federal Aviation Administration (FAA) had not yet prioritized this project and made available State or Federal funds. However, in 2021, the county received notification that the FAA prioritized the rehabilitation and/or reconstruction of two major sections of the Terminal Ramp Area: Executive Terminal Ramp and the South Tie-Down Ramp.

A third section, the West Ramp, is an Exclusive Use ramp by Atlantic Aviation, LLC, and will be rehabilitated per their Fixed Base Operator Lease and Operating Agreement with Waukesha County. Atlantic Aviation will cover the entire cost of the West Exclusive Use Ramp rehabilitation. The project will be bid with the West Exclusive Use Ramp as an option in the event Atlantic Aviation is unable to complete their share of the rehabilitation project at this time.


Funding has been approved to begin design work for the project in 2021. The total project costs for the Executive Terminal Ramp and South Tie-Down Ramp are estimated at \$2,970,500. The estimated county share is \$149,000 which is net of 95% state/federal funding. The county share of design costs is \$9,000 and is scheduled to take place in 2021. The county share of construction costs is \$140,000 for 2022, and this request will be included in the 2022-2026 capital plan. The entire county share of the project will be funded with Airport Fund balance. The total project costs for the West Exclusive Use Ramp are estimated at \$310,000 of which the entire cost of \$310,000 will be covered by Atlantic Aviation.

Additionally, capital project #201621– Airport Ramp Expansion Project will close as rehabilitating the existing ramps is deemed a higher priority at this time. Capital project #201621 has a balance of \$202,200 as of August 2021. This balance will lapse to the Airport Fund balance.

The net remaining Airport Fund balance as of 12/31/2020, factoring in future obligated fund balance use (e.g., Airport capital projects), is estimated at \$1,009,000 (before approval of September ordinances).

There are no new ongoing costs due to this rehabilitation. Maintenance estimates in future years will be reduced by rehabilitating the existing pavement.

The Airport is an enterprise fund that does not rely on county tax levy, and this ordinance does not result in an ongoing direct tax levy impact.


Danielle Igielski
Accounting Services Manager
09/08/2021
MYB

ADOPT FIVE-YEAR CAPITAL PROJECTS PLAN

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19

WHEREAS, the County Board's Executive Committee completed its review of capital projects proposed in the County Executive's (2022-2026) Capital Projects Plan; and

WHEREAS, the Executive Committee prepared a listing of recommended capital projects for adoption by the Waukesha County Board of Supervisors as the Waukesha County Five-Year (2022-2026) Capital Projects Plan; and

WHEREAS, the Waukesha County Board of Supervisors has completed its review and made any changes through amendments to the (2022-2026) Capital Projects Plan; and

WHEREAS, a copy of the Capital Projects Plan is available from the Department of Administration and online at the County's website, www.waukeshacounty.gov/capitalplan.

THE COUNTY BOARD OF SUPERVISORS OF THE COUNTY OF WAUKESHA RESOLVES that the Waukesha County Five-Year (2022-2026) Capital Projects Plan, on file in the Office of the County Clerk, is hereby adopted.

1 MODIFY THE DEPARTMENT OF EMERGENCY PREPAREDNESS 2021 BUDGET AND AUTHORIZE
2 THE DEPARTMENT TO ACCEPT THE FOX RIVER WATERSHED MITIGATION GRANT
3
4

5 WHEREAS, the Fox River Watershed is located in portions of seven counties in Wisconsin,
6 including Kenosha, Racine, Walworth, Waukesha, Milwaukee, Washington and Jefferson; and
7

8 WHEREAS, identifying hazards and effective mitigation actions before disasters occur increases
9 the County's ability to be a safe, economically vibrant and environmentally responsible county;
10 and
11

12 WHEREAS, Waukesha County is participating jointly in mitigation planning and coordination
13 with other local units of government, Wisconsin Emergency Management (WEM) and the
14 Federal Emergency Management Agency (FEMA); and
15

16 WHEREAS, Waukesha County has entered into agreement with Southeastern Wisconsin
17 Regional Planning Commission (SEWRPC) to develop a regional approach to manage water in
18 the Fox River Watershed by assessing the hazards and identifying mitigation projects to lessen
19 the risks associated with these hazards; and
20

21 WHEREAS, the Department of Emergency Preparedness has applied for a grant from FEMA
22 through WEM to assist with costs associated with its Fox River watershed mitigation planning
23 efforts, including costs associated with the agreement with SEWRPC, and has been awarded
24 such a grant in the amount of \$167,140 plus \$8,357 for management costs, subject to
25 acceptance by the County Board; and
26

27 WHEREAS, the County's required 12.5% match/contribution to the grant award, valued at
28 \$20,892, will be provided by SEWRPC through in-kind services.
29

30 THE COUNTY BOARD OF SUPERVISORS OF THE COUNTY OF WAUKESHA ORDAINS that
31 Waukesha County Department of Emergency Preparedness is authorized to accept a grant in
32 the amount of \$167,140 plus \$8,357 management costs from FEMA, administered through
33 Wisconsin Emergency Management (WEM), for the planning and coordination of the Fox River
34 Watershed Mitigation Plan.
35

36 BE IT FURTHER ORDAINED that the Emergency Preparedness 2021 budget be modified by
37 appropriating operating expenses of \$37,607 to fund planning and implementation of the plan,
38 interdepartmental charges of \$1,044 for indirect cost recovery and increasing
39 intergovernmental revenues by \$38,651 for corresponding grant award. The remaining funding
40 will be included in the 2022 and 2023 departmental budget requests.

Fiscal Note

MODIFY THE DEPARTMENT OF EMERGENCY PREPAREDNESS 2021 BUDGET AND AUTHORIZE
THE DEPARTMENT TO ACCEPT THE FOX RIVER WATERSHED MITIGATION GRANT

This ordinance authorizes the Waukesha County Emergency management to accept grant funds administered through the State of Wisconsin Department of Military Affairs Division of Emergency Management (WEM). The funding will be provided by Federal Emergency Management Agency (FEMA) (75%) and WEM (12.5%) The grant amounts are as follows:

| | |
|---|-------------------|
| 75% FEMA Funding for Consulting Services Administered through WEM | \$ 125,355 |
| FEMA Required Local Match (12.5%) provided by WEM | 20,893 |
| FEMA Required Local Match (12.5%) in-kind work provided by SEWRPC * | 20,892 |
| Total Award | \$ 167,140 |

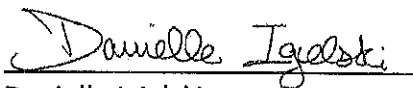
FEMA funding for Administrative Reimbursement **\$ 8,357**

*The additional 12.5% FEMA required local match will be provided by Southeastern Wisconsin Regional Planning Commission (SEWRPC) through in-kind work. The County will be billed for the consulting services net the in-kind amount provided by SEWRPC.

This funding will be used to pay for the planning and implementation of the regional Fox River watershed mitigation plan over multiple years.

This ordinance will increase Waukesha County Emergency Management 2021 operating expenses budget by \$37,607 to pay for the planning and implementation of the plan. In addition, this ordinance will increase Waukesha County Emergency Management interdepartmental charges by \$1,044 for indirect cost recovery. The remainder of the grant will be included in the departments 2022 and 2023 departmental budget requests.

This ordinance results in no additional direct tax levy impact.



Danielle Igielski
Accounting Services Manager
09/08/2021
JE 2021-00006338

1 MODIFY THE 2021 BUDGET OF THE DEPARTMENT OF EMERGENCY PREPAREDNESS AND TO
2 ACCEPT GRANT FUNDING FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY
3 (FEMA) TO COMPLETE THE WAUKESHA COUNTY HAZARD MITIGATION PLAN
4
5

6 WHEREAS, Waukesha County recognizes the threat that natural, technological, and man-made
7 hazards pose to people, property, and the environment; and
8

9 WHEREAS, undertaking hazard mitigation actions before disasters occur reduces the potential
10 for harm to people, property, and the environment, while saving taxpayer dollars; and
11

12 WHEREAS, an adopted all hazard mitigation plan is required to be updated every five years by
13 the Federal Emergency Management Agency (FEMA) as a condition of future grant funding for
14 mitigation projects under FEMA pre- and post-disaster mitigation grant programs; and
15

16 WHEREAS, Waukesha County is participating jointly in the planning and update process with
17 other local units of government, the State of Wisconsin and FEMA to prepare the 2021
18 Waukesha County All Hazard Mitigation Plan, which will be made available for review when
19 completed and will reside permanently in the Waukesha County Department of Emergency
20 Preparedness, Emergency Management Division; and
21

22 WHEREAS, Waukesha County has entered into an agreement with Integrated Solutions
23 Consulting to facilitate the update to the Waukesha County All Hazard Mitigation Plan that
24 addresses the natural hazards that threaten the health and welfare of the communities in the
25 County; and
26

27 WHEREAS, the department has applied for a grant from FEMA through Wisconsin Emergency
28 Management (WEM) to assist the County with the costs of its hazard mitigation planning
29 efforts, including costs associated with the agreement with Integrated Solutions Consulting; and
30

31 WHEREAS, FEMA will provide \$41,299 to the County and the remaining \$13,766 is the required
32 local match funded by community participation and county staff time.
33

34 THE COUNTY BOARD OF SUPERVISORS OF THE COUNTY OF WAUKESHA ORDAINS that the
35 Waukesha County Department of Emergency Preparedness is authorized to accept a grant in
36 the amount of \$41,299 from FEMA, administered through Wisconsin Emergency Management
37 (WEM), for the planning and coordination of the five-year update of the Waukesha County All
38 Hazard Mitigation Plan.
39

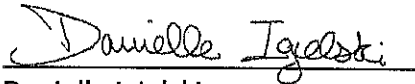
40 BE IT FURTHER ORDAINED that the Emergency Preparedness 2021 budget be modified by
41 appropriating operating expenses of \$30,974 to fund hazard mitigation planning efforts and
42 increasing intergovernmental revenues by \$30,974 for the corresponding FEMA grant award.
43 The remaining funding will be included in the 2022 departmental budget request.

Fiscal Note

MODIFY THE 2021 BUDGET OF THE DEPARTMENT OF EMERGENCY PREPAREDNESS AND TO
ACCEPT GRANT FUNDING FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY
(FEMA) TO COMPLETE THE WAUKESHA COUNTY HAZARD MITIGATION PLAN

This ordinance authorizes the Waukesha County Emergency management to accept \$41,299 of Federal Emergency Management Agency grant funds administered through the State of Wisconsin Department of Military Affairs. This ordinance will increase Waukesha County Emergency Management operating expenses by \$30,974 to hire Integrated Solutions Consulting to do the planning and implementation of the 2021 Waukesha County All Hazard Mitigation Plan. The remaining \$10,325 in grant funds has been included in the 2022 budget request. In addition, this funding requires a 25% (\$13,766) local match which will be provided through in-kind community participation and county staff time included in the 2021 base budget and 2022 budget request.

This ordinance results in no additional direct tax levy impact.



Danielle Igielski
Accounting Manager
09/07/2021
2021-00006298

1 SIXTH AMENDMENT TO LEASE AGREEMENT
2 WITH NEW CINGULAR WIRELESS PCS, LLC.
3
4

5 WHEREAS, Waukesha County owns a radio tower (the "Tower") located at 500 Riverview
6 Avenue, City of Waukesha, Waukesha County, State of Wisconsin (the "Site"); and
7

8 WHEREAS, New Cingular Wireless PSC, LLC, currently leases the Tower and ground space at the
9 Site for operation of a cellular communications facility pursuant to that certain Tower and
10 Ground Space Lease Agreement dated December 1, 1998, as amended (the "Lease"); and
11

12 WHEREAS, New Cingular Wireless PSC, LLC desires to install a redundant emergency power
13 source and update aged equipment at the Site and to modify the footprint of the ground space
14 leased at the Site; and
15

16 WHEREAS, the County is willing to permit the upgrades, and otherwise amend the Lease
17 with New Cingular Wireless PSC, LLC without requiring an increase in rent; and
18

19 WHEREAS, it is therefore necessary and desirable for the parties to execute an amendment
20 to the Lease to formalize their agreement.
21

22 THE COUNTY BOARD OF SUPERVISORS OF THE COUNTY OF WAUKESHA ORDAINS that an
23 amendment to the Lease, substantially in the form attached hereto, for the Sixth
24 Amendment to Tower and Ground Space Lease between the County and New Cingular
25 Wireless PSC, LLC for use of the Tower and surrounding lands, is hereby approved.
26

27 BE IT FURTHER ORDAINED that the Director of Emergency Preparedness or his designee is
28 authorized to finalize and execute the Sixth Amendment to Tower and Ground Space Lease
29 and any other documents necessary to effectuate the intent thereof.

Market: IL/WI
Cell Site Number: WI0159
Cell Site Name: Downtown Waukesha
Fixed Asset Number: 10011988

SIXTH AMENDMENT TO LEASE

THIS SIXTH AMENDMENT TO LEASE ("**Sixth Amendment**"), dated as of the latter of the signature dates below, is by and between Waukesha County, Wisconsin, a quasi-municipal corporation, having a mailing address of 515 W. Moreland Blvd., Waukesha, Wisconsin 53188 ("**County**") and New Cingular Wireless PCS, LLC, a Delaware limited liability company, having a mailing address of 1025 Lenox Park Blvd NE, 3rd Floor Atlanta, GA 30319 ("**Lessee**").

WHEREAS, County and Lessee entered into a Lease dated December 1, 1998, as amended by that certain First Amendment to Lease dated June 26, 2012, as further amended by that Second Amendment to Lease dated June 5, 2015, and Third Amendment to Lease dated October 19, 2018, as further amended by that certain Fourth Amendment to Lease Agreement dated June 11, 2020, and as further amended by that certain Fifth Amendment to the Lease Agreement dated April 26, 2021 whereby County leased to Lessee certain Premises, therein described, that are a portion of the Property located at 500 Riverview Avenue, Waukesha, WI 53188 for use as a cellular communications facility ("**Agreement**"); and

WHEREAS, among other things, the Agreement requires that modifications and improvements to the Communication Facility desired by Lessee that would result in additional equipment, change space requirements or change configuration, placement or number of antennas or feedlines are subject to the County's prior approval, and may result in demand for increased rent or other modification of Agreement terms; and

WHEREAS, Lessee desires to modify the footprint of the Premises and various related easements and to change, modify or relocate various equipment, antennas and/or feedlines on the Communication Facility, which the County is willing to approve so long as the Agreement is otherwise amended as required hereby, and;

WHEREAS, County and Lessee, in their mutual interest, wish to amend the Agreement as set forth below accordingly.

NOW THEREFORE, in consideration of the foregoing and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, County and Lessee agree to amend the Agreement as follows:

1. **Modification of Leased Premises.** Exhibit A-3 of the Agreement is modified to incorporate the changes to the Premises and related easements as described in Exhibit A-4 attached hereto.
2. **Additional Equipment Modification.** County consents to the installation and operation of the additional equipment described on the attached Exhibit B-4 (the "Additional Equipment"). County's execution of this Sixth Amendment will signify County's approval

of Exhibit B-4. Exhibit B-4 hereby supplements Exhibit B-3 to the Agreement with respect to approved equipment upon the Premises.

3. **Other Terms and Conditions Remain.** In the event of any inconsistencies between the Agreement and this Sixth Amendment, the terms of this Sixth Amendment shall control. Except as expressly set forth in this Sixth Amendment, the Agreement otherwise is unmodified and remains in full force and effect. Each reference in the Agreement to itself shall be deemed also to refer to this Sixth Amendment.
4. **Capitalized Terms.** All capitalized terms used but not defined herein shall have the same meanings as defined in the Agreement.

[SIGNATURES ON FOLLOWING PAGE]

IN WITNESS WHEREOF, the parties have caused their properly authorized representatives to execute and seal this Sixth Amendment on the dates set forth below.

D
R
A
F
T

"COUNTY"

Waukesha County, Wisconsin,
a quasi-municipal corporation

By: _____
Name: _____
Title: _____
Date: _____

"LESSEE"

New Cingular Wireless PCS, LLC,
a Delaware limited liability company

By: AT&T Mobility Corporation
Its: Manager

By: _____
Name: _____
Title: _____
Date: _____

LESSEE ACKNOWLEDGEMENT

STATE OF _____)
) ss:
COUNTY OF _____)

On the ___ day of _____ in the year ___ before me, the undersigned, a notary public in and for said state, personally appeared _____, personally known to me or proved to me on the basis of satisfactory evidence to be the _____ of AT&T Mobility Corporation, the Manager of New Cingular Wireless PCS, LLC, a Delaware limited liability company described herein and that the instrument was signed on behalf of the limited liability company, authority of the limited liability company and that he./she acknowledged this instrument to the be the free act and deed of the limited liability company.

Notary Public: _____
My Commission Expires: _____

COUNTY ACKNOWLEDGEMENT

STATE OF WISCONSIN)
) ss:
COUNTY OF WAUKESHA)

On this ___ day of _____, 2021 before me, the undersigned, personally appeared Gary Bell, personally known to me or proved to me on the basis of satisfactory evidence to be the Director of Emergency Management for Waukesha County described herein and that the instrument was signed on behalf of Waukesha County, he being authorized to do so, for the purposes therein contained.

Notary Public: _____
My Commission Expires: _____

EXHIBIT A-4
Description of Premises

The Property is described and/or depicted as follows:

500 Riverview Avenue, Waukesha, WI

Tax ID No. WAKC1000983

PROPOSED LEASE AREA DESCRIPTION

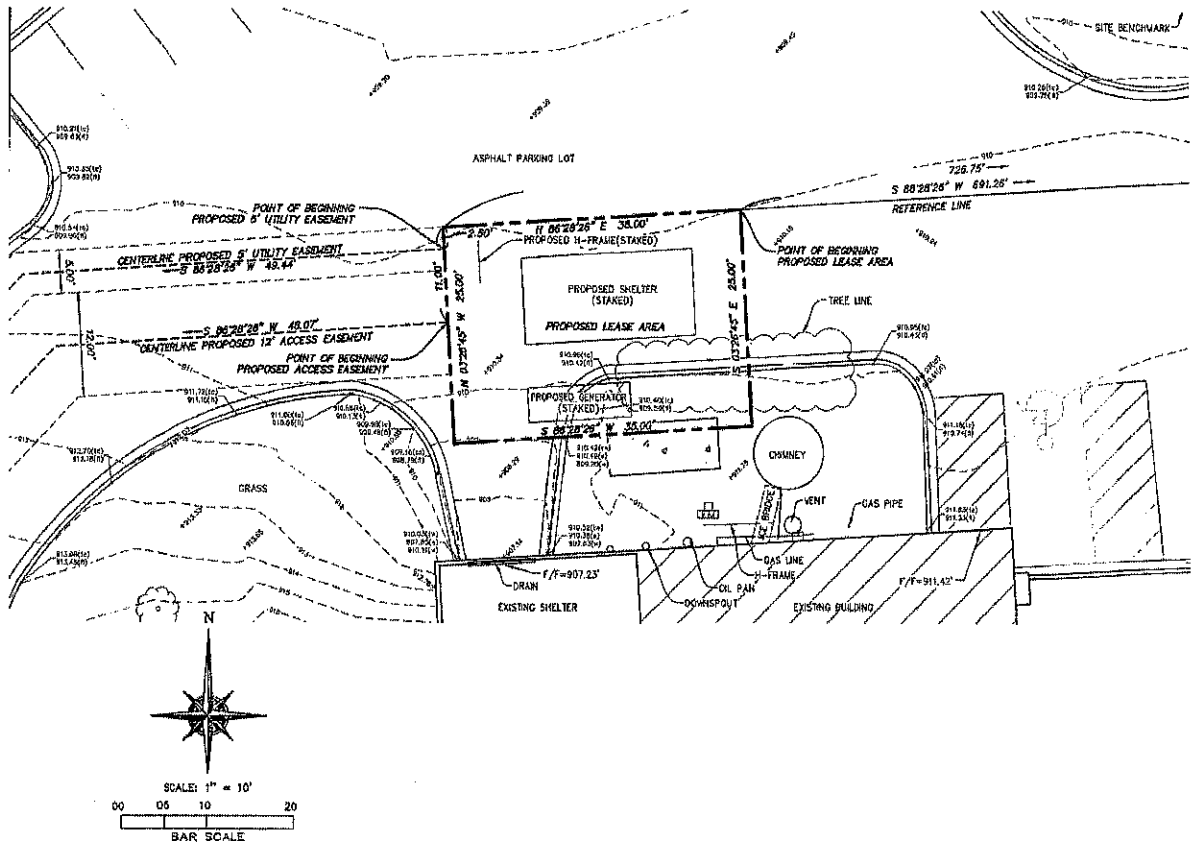
THAT PART OF THE WEST HALF OF THE SOUTH EAST QUARTER OF SECTION 34, TOWNSHIP 7 NORTH, RANGE 19 EAST DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWESTERLY CORNER OF LOT 27 IN GRIFFIN HEIGHTS ADDITION TO WAUKESHA THENCE NORTH 00 DEGREES 41 MINUTES 30 SECONDS WEST ALONG THE WEST LINE OF SAID GRIFFIN HEIGHTS EXTENDED NORTHERLY, 362.87 FEET; THENCE SOUTH 86 DEGREES 28 MINUTES 26 SECONDS WEST, 691.26 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 03 DEGREES 26 MINUTES 45 SECONDS EAST, 25.00 FEET; THENCE SOUTH 86 DEGREES 28 MINUTES 26 SECONDS WEST, 35.00 FEET; THENCE NORTH 03 DEGREES 26 MINUTES 45 SECONDS WEST, 25.00 FEET; THENCE NORTH 86 DEGREES 28 MINUTES 26 SECONDS EAST, 35.00 FEET TO THE POINT OF BEGINNING, CONTAINING 875.00 SQUARE FEET, ALL IN THE CITY OF WAUKESHA, WISCONSIN.

PROPOSED 12' ACCESS EASEMENT DESCRIPTION

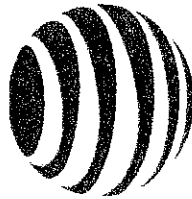
THAT PART OF THE WEST HALF OF THE SOUTH EAST QUARTER OF SECTION 34, TOWNSHIP 7 NORTH, RANGE 19 EAST DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWESTERLY CORNER OF LOT 27 IN GRIFFIN HEIGHTS ADDITION TO WAUKESHA THENCE NORTH 00 DEGREES 41 MINUTES 30 SECONDS WEST ALONG THE WEST LINE OF SAID GRIFFIN HEIGHTS EXTENDED NORTHERLY, 362.87 FEET TO A POINT ON THE NORTH LINE OF THE AFORESAID LEASE AREA EXTENDED EASTERLY; THENCE SOUTH 86 DEGREES 28 MINUTES 26 SECONDS WEST, 726.75 FEET TO THE NORTHWEST CORNER OF THE AFORESAID LEASE AREA; THENCE SOUTH 03 DEGREES 26 MINUTES 45 SECONDS EAST ALONG THE WEST LINE OF SAID LEASE AREA, 11.00 FEET TO THE POINT OF BEGINNING, LYING 6.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE; THENCE SOUTH 86 DEGREES 28 MINUTES 26 SECONDS WEST, 46.07 FEET; THENCE SOUTH 43 DEGREES 24 MINUTES 45 SECONDS WEST, 79.44 FEET; THENCE SOUTH 03 DEGREES 15 MINUTES 19 SECONDS EAST, 303.56 FEET; THENCE SOUTH 52 DEGREES 12 MINUTES 27 SECONDS EAST, 39.92 FEET; THENCE NORTH 82 DEGREES 52 MINUTES 23 SECONDS EAST, 178.62 FEET; THENCE SOUTH 75 DEGREES 10 MINUTES 00 SECONDS EAST, 163.64 FEET; THENCE NORTH 86 DEGREES 16 MINUTES 52 SECONDS EAST, 261.69 FEET; THENCE NORTH 60 DEGREES 27 MINUTES 37 SECONDS EAST, 90.66 FEET; THENCE NORTH 49 DEGREES 28 MINUTES 48 SECONDS EAST, 137.56 FEET TO A POINT ON THE WEST LINE OF GRIFFIN HEIGHTS ADDITION TO WAUKESHA, SAID POINT ALSO BEING THE POINT OF TERMINATION, CONTAINING 15,617.98 SQUARE FEET, ALL IN THE CITY OF WAUKESHA, WISCONSIN.

PROPOSED 5' UTILITY EASEMENT DESCRIPTION

THAT PART OF THE WEST HALF OF THE SOUTH EAST QUARTER OF SECTION 34, TOWNSHIP 7 NORTH, RANGE 19 EAST DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWESTERLY CORNER OF LOT 27 IN GRIFFIN HEIGHTS ADDITION TO WAUKESHA THENCE NORTH 00 DEGREES 41 MINUTES 30 SECONDS WEST ALONG THE WEST LINE OF SAID GRIFFIN HEIGHTS EXTENDED NORTHERLY, 362.87 FEET TO A POINT ON THE NORTH LINE OF THE AFORESAID LEASE AREA EXTENDED EASTERLY; THENCE SOUTH 86 DEGREES 28 MINUTES 26 SECONDS WEST, 726.75 FEET TO THE NORTHWEST CORNER OF THE AFORESAID LEASE AREA; THENCE SOUTH 03 DEGREES 26 MINUTES 45 SECONDS EAST ALONG THE WEST LINE OF SAID LEASE AREA, 2.50 FEET TO THE POINT OF BEGINNING, LYING 2.5 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE; THENCE SOUTH 86 DEGREES 28 MINUTES 26 SECONDS WEST, 49.44 FEET; THENCE SOUTH 43 DEGREES 24 MINUTES 45 SECONDS WEST, 86.44 FEET; THENCE SOUTH 03 DEGREES 15 MINUTES 19 SECONDS EAST, 353.75 FEET; THENCE NORTH 82 DEGREES 19 MINUTES 00 SECONDS EAST, 191.25 FEET; THENCE SOUTH 82 DEGREES 09 MINUTES 45 SECONDS EAST, 84.27 FEET TO THE POINT OF TERMINATION, CONTAINING 3,827.49 SQUARE FEET, ALL IN THE CITY OF WAUKESHA, WISCONSIN.



DRAFT



AT&T

Exhibit B-4

GENERATOR PROJECT
SITE NAME: DOWNTOWN WAUKESHA
SITE #: W10159
AT&T FA: 10011988
NEW STANDBY GENERATOR AT
AN EXISTING WIRELESS FACILITY

PROJECT SUMMARY

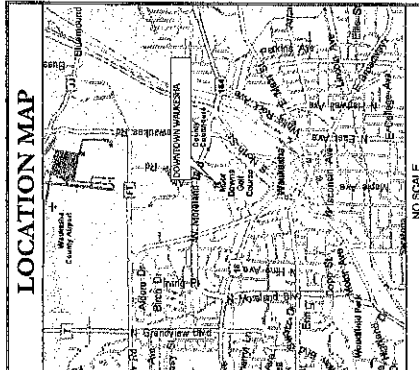
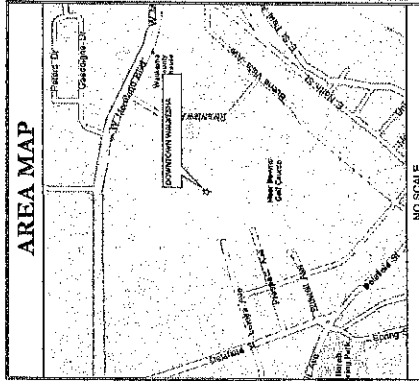
SITE LOCATION: 500 RIVERVIEW AVENUE
 WAUKESHA, WI 53188
COUNTY: WAUKESHA
SITE NUMBER: 10011988 (W10159)
TAX PARCEL NUMBER: WK1C10000.983
JURISDICTION: CITY OF WAUKESHA
MAPS:
LATITUDE: 43.091857
LONGITUDE: -88.235876
CUSTOMER/APPLICANT: AT&T MOBILITY CORPORATION
 HOOPER, AL 35244
AREA OF CONSTRUCTION: 4'x10'
OCCUPANCY TYPE: UNMANNED
A.D.A. COMPLIANCE: FACILITY IS UNMANNED AND NOT
 FOR HUMAN HABITATION
SETBACKS: T.B.D.

CONTACT INFORMATION

AGE FRM: B+T GROUP
 1717 S. BOULDER, STE. 300
 TULSA, OK 74119
CONTACT: PERRY KYRENDAHL
 (918) 587-4650
PROJECT MANAGER: GENERAL DYNAMICS
 9400 WILLAMSBURG PLAZA, SUITE 220
 DOWNSIDE, MISSISSIPPI
CONTACT: DONALD H. SASSY
 (502) 386-9870

CODE COMPLIANCE

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AND SHALL BE CONSTRUCTED TO PERMIT WORK IN ACCORDANCE WITH THESE CODES:
CODE TYPE LOCAL
BUILDING/DEMOLITION IBC 2015
ELECTRICAL NEC 2015
Mechanical IMC 2015
MECHANICAL NEC 2017



DRAWING INDEX

| SHEET # | TITLE SHEET | SHEET DESCRIPTION | REV. # |
|----------|--------------------------------|--------------------------------|--------|
| T-1 | GENERAL NOTES | GENERAL NOTES | 0 |
| GN-1 | SITE PLAN | SITE PLAN | 0 |
| S-1 | FOUNDATION DETAILS | FOUNDATION DETAILS | 0 |
| E-1 | ELECTRICAL & GROUNDING DETAILS | ELECTRICAL & GROUNDING DETAILS | 0 |
| E-2 | GENERATOR SPEC SHEETS | GENERATOR SPEC SHEETS | 0 |
| ATTACHED | | | |

A/E DOCUMENT REVIEW STATUS

| TITLE | SIGNATURE | DATE |
|-------------------------|-----------|------|
| CARRIER CONST. MGR. | | |
| TURF VENDOR CONST. MGR. | | |
| SITE ACQUISITION | | |
| PROPERTY OWNER | | |
| CONTRACTOR | | |

1 ACCEPTED-- WITH OR NO COMMENTS, CONSTRUCTION MAY PROCEED
 2 NOT ACCEPTED-- RESOLVE COMMENTS AND RESUBMIT
 ACCEPTANCE DOES NOT CONSTITUTE A DESIGNATION OF A PROFESSIONAL ENGINEER
 A SUBCONTRACTOR AND DOES NOT RELIEVE SUBCONTRACTOR FROM FULL COMPLIANCE WITH CONTRACTUAL OBLIGATIONS.

DO NOT SCALE DRAWINGS

ALL DRAWINGS CONTAINED HEREIN ARE FORMATTED FOR 11X17. CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING CONDITIONS BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME. SEE SHEET GN-1 FOR ADDITIONAL CONSTRUCTION NOTES.

SCOPE OF WORK

THE S.O.W. FOR THIS PROJECT IS TO INSTALL A STANDBY EMERGENCY GENERATOR AT AN EXISTING CELL SITE. THE GENERATOR WILL BE PLACED ON TOP OF PAD FOUNDATION--PLACE CONCRETE PAD OF THE TOWER STRUCTURE. GENERATOR DIMENSIONS: 94.8" x 38" x 62.5".
 • INSTALL NEW ATS W/ CAMLOCK
 • INSTALL (2) NEW 20A BREAKERS.

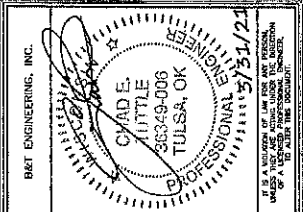
CALL WISCONSIN ONE CALL
 (800) 242-8511
 CALL 3 WORKING DAYS BEFORE YOU DIG!



GENERAL DYNAMICS
 9400 WILLAMSBURG PLAZA
 LOUISVILLE, KY 40222

DOWNTOWN WAUKESHA
 FA: 10011988
 SITE #: W10159
 500 RIVERVIEW AVENUE
 WAUKESHA, WI 53188
 EXISTING CHIMNEY

PROJECT NO: 1463000401
CHECKED BY: JLB
ISSUED FOR:
 A 2/7/21 PRELIMINARY REVIEW
 D 3/31/21 FOR CONSTRUCTION



SHEET NUMBER: T-1
REVISIONS: 0

Referred to: JU 8

File Number: 176-O-069

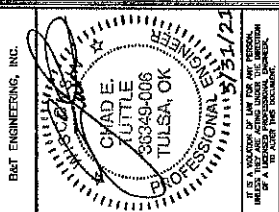
Referred on: 09/09/21



GENERAL DYNAMICS
840 NW LANSBERRY BLVD
LOUISVILLE, KY 40202

SITE #: W10159
FA: 10011988
500 RIVERVIEW AVENUE
WAUKESHA, WI 53188
EXISTING CHIMNEY

| | | |
|-------------|-------------|--------------------|
| PROJECT NO: | 14841006.01 | |
| CHECKED BY: | BLJ | |
| ISSUED FOR: | | |
| REV | DATE | DESCRIPTION |
| A | 7/7/21 | PRELIMINARY REVIEW |
| B | 5/21/21 | CONSTRUCTION |



SECRET NUMBER: **GN-10**
REVISION: 0

Referred to: JU 9

- GENERAL NOTES:**
- THIS PROPOSAL IS FOR THE ADDITION OF A NEW GENERATOR ON A CONCRETE PAD TO AN EXISTING FACILITY. THE PROPOSED FACILITY IS UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SEWER SERVICE.
 - THE PROPOSED FACILITY IS UNMANNED AND IS NOT FOR HUMAN HABITAT.
 - NO NOISE, SMOKE, DUST OR ODOR WILL RESULT FROM THIS PROPOSAL.
 - ALL MATERIAL SHALL BE FURNISHED AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
 - THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTION REQUIRED FOR CONSTRUCTION.
 - THE SUBCONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS. INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM DRAWINGS PROVIDED BY THE SITE OWNER. SUBCONTRACTOR SHALL NOTIFY AT&T OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.
- SPECIFICATIONS:**
- COORDINATE LOCATION AND POWER REQUIREMENTS OF ALL EQUIPMENT WITH AT&T AND EQUIPMENT SUPPLIER PRIOR TO INSTALLATION.
 - COORDINATE LOCATION AND REQUIREMENTS FOR ELECTRICAL AND TELEPHONE SERVICES WITH THE PROPERTY REPRESENTATIVE, AT&T AND UTILITY COMPANIES. ROUTING OF CONDUITS MAY BE MODIFIED TO MEET SITE REQUIREMENTS. EXACT CONDUIT ROUTING TO BE DETERMINED IN THE FIELD.
 - ALL WIRING AND EQUIPMENT SHOWN ON ELECTRICAL SHEETS SHALL BE FURNISHED AND INSTALLED UNDER ELECTRICAL PORTION OF CONTRACT UNLESS OTHERWISE NOTED.
 - UNINTERFERED ELECTRICAL SERVICE FOR EXISTING EQUIPMENT SHALL BE MAINTAINED DURING THE INSTALLATION OF THE WORK DESCRIBED UNDER THESE DOCUMENTS. TEMPORARY EQUIPMENT, CABLES AND WHATEVER ELSE IS NECESSARY SHALL BE PROVIDED AS REQUIRED TO MAINTAIN ELECTRICAL SERVICE. TEMPORARY SERVICE FACILITIES, IF REQUIRED AT ANY TIME, ORIENTATIONAL, IF ANY SERVICE OR SYSTEM MUST BE INTERFERED. THE CONTRACTOR SHALL REQUEST PERMISSION IN WRITING STATING THE DATE, TIME, ETC. THE SERVICE WILL BE INTERRUPTED AND THE AREAS AFFECTED. THE REQUEST SHALL BE MADE IN SUFFICIENT TIME FOR PROPER ARRANGEMENTS TO BE MADE. WRITTEN PERMISSION SHALL BE OBTAINED FROM THE OWNER BEFORE INTERRUPTING ELECTRICAL SERVICE.
 - COORDINATE NEW WORK WITH OTHER TRADES AND VERIFY EXISTING CONDITIONS TO AVOID INTERFERENCE. IN CASE OF INTERFERENCE, AT&T'S REPRESENTATIVE WILL DECIDE WHICH WORK IS TO BE RELOCATED, REGARDLESS OF WHICH WAS FIRST INSTALLED.
 - THE INSTALLATION MUST COMPLY WITH NEG AND ALL FEDERAL, STATE AND LOCAL RULES AND REGULATIONS.
 - THE DRAWINGS ARE DIAGNOSTIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND EQUIPMENT UNLESS OTHERWISE DEFINED BY DIMENSIONS OR DETAILS EXACT EQUIPMENT LOCATIONS AND FACEWAY ROUTING SHALL BE GOVERNED BY ACTUAL FIELD CONDITIONS AND/OR DIRECTIONS FROM AT&T'S REPRESENTATIVE.
 - CONTRACTOR SHALL PAY ALL PERMITS AND FEES REQUIRED.
 - ALL MATERIALS SHALL BE FURNISHED AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE STANDARDS REFERENCED BELOW:
 - a. ASTM
 - b. IEEE
 - c. ETL
 - d. IEC
 - e. J. IEC
 - f. IEEE
 - g. NEMA
 - h. NEMA
 - i. NEMA
 - j. NEMA
 - k. NEMA
 - l. NEMA
 - m. NEMA
 - n. NEMA
 - o. NEMA
 - p. NEMA
 - q. NEMA
 - r. NEMA
 - s. NEMA
 - t. NEMA
 - u. NEMA
 - v. NEMA
 - w. NEMA
 - x. NEMA
 - y. NEMA
 - z. NEMA
 - CONTRACTOR SHALL REVIEW PLANS, DETAILS AND SPECIFICATIONS IN DETAIL AND ADJUST WORK TO CONFORM WITH ACTUAL SITE CONDITIONS SO THAT ELECTRICAL DEVICES AND EQUIPMENT OPERATE AS INTENDED. THE CONTRACTOR SHALL PROVIDE HIS OWN LISTS ON THE DRAWINGS FOR INFORMATION ONLY. THE CONTRACTOR SHALL PROVIDE HIS OWN TAKEOFF FOR MATERIAL, QUANTITY AND TYPES BASED ON ACTUAL SITE CONDITIONS. IN ADDITION, CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIALS TO INSTALL EQUIPMENT FURNISHED BY AT&T ON THE SUPPLIES. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR OBTAINING PERMITS OR FOR THE INSTALLATION, SHALL BE INCLUDED.

- THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) AT&T IN ADVANCE OF ANY CONFLICTS PRIOR TO THE SUBMISSION OF CONTRACTORS' PROPOSALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTION REQUIRED FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTION REQUIRED FOR CONSTRUCTION.
- ALL LOCATIONS WHERE PENETRATIONS ARE REQUIRED IN BUILDING ARE TO BE CORE DRILLED AND THEN REPROOFED.
- WIRING SHALL BE CONDUCTED IN CONDUIT UNLESS OTHERWISE NOTED.
- PROVIDE PULL BOX AND JUNCTION BOXES WHERE SHOWN OR AS REQUIRED BY CODE SUCH THAT NO MORE THAN THE EQUIVALENT OF FOUR QUARTER BENDS (90 DEGREE) TOTAL AT LEAST IN CONDUIT RUN.
- ALL POWER AND SIGNAL INDICATION WIRING SHALL BE TYPE THRU-WALL RIGID PATED 75 DEGREE CELSIUS, UNLESS NOTED OTHERWISE.
- CONDUIT BENDS SHALL BE MADE IN ACCORDANCE WITH NEC TABLE 348-10. NO RIGHT ANGLE BENDS OTHER THAN STANDARD CONDUIT ELBOWS WITH 1/2" MINIMUM INSIDE SWEEP FOR ALL CONDUITS 1/2" OR LARGER.
- POWER WIRING SIZE SHALL NOT BE SMALLER THAN #2AWG.
- ALL WIRING SHALL BE COVERED. ALL WIRING SHALL BE ACCEPTABLE.
- ALL POWER CIRCUITS SHALL CONTAIN A GROUND WIRE.
- PHASE MARKINGS TO BE USED AT POWER CONDUCTOR TERMINATIONS.
- CONTRACTOR SHALL ENSURE INTEGRITY IS MAINTAINED WHEN INSTALLING CONDUIT AND WIRING.
- INSTALL PULL STRING IN ALL CONDUIT.
- FOR HOOKUP INSTALLS AND BUILD-OUTS, CONDUITS INSIDE BUILDINGS AND ON ROOFS SHALL BE RIGID, UNLESS OTHERWISE NOTED. FOR RAWLAND SITES AND CO-LOCATES, PVC SCHEDULE 80 SHALL BE UTILIZED UNLESS OTHERWISE NOTED.
- MAINTAIN MINIMUM 1'-0" VERTICAL AND 1'-0" HORIZONTAL SEPARATION FROM ANY MECHANICAL GAS SPRING.
- ALL WIRING ROUTED IN PLENUM TO BE PLENUM RATED OR IN METALLIC FLEX (LIQUIDTITE) CONDUIT.
- EQUIPMENT:
- CHARACTERISTICS (M.C., C.A.) OF THAT EQUIPMENT.
- EQUIPMENT PARTS SUPPLIED TO EXISTING PANELS, DUCTS, ETC. SHALL MATCH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.
- GROUNDINGS:
- ALL EQUIPMENT SURFACES TO BE BONDED TO GROUNDING SYSTEM SHALL BE STRIPPED OF ALL PAINT AND COATINGS TO EXPOSE METAL SURFACES. ALL EQUIPMENT SHALL BE BONDED TO A GALVANIC OR CORROSIVE REACTION AREA SHALL BE REPAIRED FOLLOWING BONDING.
- ANY METALLIC ITEM WITHIN 10' OF GROUND CONDUCTORS MUST BE CONNECTED TO THE GROUNDING SYSTEM.
- EXTERIOR ABOVE GRADE GROUND CONNECTIONS SHALL BE FURNISHED WITH A LIBERAL PROTECTIVE COATING OF ANTI-OXIDE COMPOUND.
- ALL MATERIALS AND LABORS REQUIRED FOR THE GROUNDING SYSTEMS AS INDICATED ON THE PLANS AND DETAILS, AND AS DESCRIBED HEREIN SHALL BE FURNISHED BY THIS CONTRACTOR UNLESS OTHERWISE NOTED.
- EXACT LOCATION OF GROUND CONNECTION POINTS SHALL BE DETERMINED IN FIELD. ADJUST LOCATIONS INDICATED ON PLANS ACCORDING TO ACTUAL EQUIPMENT LOCATIONS TO KEEP THE GROUND CONNECTIONS CABLES AS SHORT AS POSSIBLE.
- WIRING SHALL BE INSTALLED IN RIGID AND UNMANNED ENCLOSURES AS REQUIRED BY THE CURRENT EDITION OF THE NATIONAL ELECTRICAL CODE AND THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE. BONDING JUMPS WITH APPROVED GROUND FITTINGS SHALL BE INSTALLED AT ALL RACEWAYS, EQUIPMENT ENCLLOSURES, PULL BOXES, ETC. TO MAINTAIN GROUND CONTINUITY WHERE REQUIRED BY CODE.
- ALL EQUIPMENT GROUND CONDUCTORS SHALL BE TIN COATED, 1/2 AWG COPPER UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- INSPECTION AND INVESTIGATION:
- THE CONTRACTOR, UPON COMPLETION OF HIS WORK, SHALL PROVIDE AS-BUILT DRAWINGS. INFORMATION SHOULD BE GIVEN TO THE GENERAL CONTRACTOR FOR INCLUSION IN FINAL AS-BUILT SURVEY DOCUMENTS TO BE GIVEN TO THE OWNER.
- CONTRACTOR SHALL SUPPLY DOCUMENTATION ATTESTING TO THE COMPLETE GROUND SYSTEMS RECEIPT (MAX. 3 SHEETS).
- AN ELECTRICAL INSPECTION SHALL BE MADE BY AN INSPECTING AGENCY APPROVED BY AT&T'S REPRESENTATIVE. CONTRACTOR SHALL COORDINATE ALL INSPECTIONS AND OBTAIN POWER COMPANY APPROVAL.
- CONTRACTOR SHALL HAVE ITS OWN GENERATORS FOR INSTALLATION AND CONNECTIONS INSPECTED BY OTHERS TO ENSURE THAT ALL LISTINGS FOR THAT EQUIPMENT IS NOT VIOLATED.

- NOTES TO SUBCONTRACTOR:**
- THE GENERAL SUBCONTRACTOR MUST VERIFY ALL DIMENSIONS, CONDITIONS AND ELEVATIONS OF EXISTING FACILITY PRIOR TO CONSTRUCTION. THE WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH ACCEPTED CONSTRUCTION PRACTICES.
 - IT IS THE INTENTION OF THESE DRAWINGS TO SUBMIT TO COMPLETION OF ALL WORK. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTION REQUIRED FOR CONSTRUCTION. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTION REQUIRED FOR CONSTRUCTION.
 - THE SUBCONTRACTOR SHALL USE ADEQUATE NUMBER OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND METHOD NEEDED FOR PROPER PERFORMANCE OF THE WORK.
 - CONSTRUCTION SUBCONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION SUBCONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTION REQUIRED FOR CONSTRUCTION. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTION REQUIRED FOR CONSTRUCTION.
 - SITE GROUNDING SHALL COMPLY WITH AT&T WIRELESS SERVICES TECHNICAL SPECIFICATIONS FOR FACILITY GROUNDING FOR CELL SITE STANDARDS, LATEST EDITION, AND COMPLY WITH AT&T TOWERS GROUNDING CHECKLIST, LATEST VERSION, WHEN NATIONAL AND LOCAL GROUNDING REQUIREMENTS DIFFER. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTION REQUIRED FOR CONSTRUCTION.
 - ALL WORK SHALL COMPLY WITH OSHA AND STATE SAFETY REQUIREMENTS. PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION AND UTILITIES SHALL BE DETERMINED BY THE FEDERAL AVIATION ADMINISTRATION (FAA) AT THE SUBCONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE NECESSARY LIGHTS AND NOTIFY THE PROPER AUTHORITIES IN THE EVENT OF A PROBLEM.
 - ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES OR ORDINANCES. THE MOST STRINGENT CODE WILL APPLY IN THE CASE OF DISCREPANCIES OR DIFFERENCES IN THE CODE REQUIREMENTS.
 - ANY DAMAGE TO THE ADJACENT PROPERTIES WILL BE CORRECTED AT THE SUBCONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE LANDOWNER AND THE ENGINEER.
 - THE COMPLETE BID PACKAGE INCLUDES THESE CONSTRUCTION DRAWINGS ALONG WITH THE SUBCONTRACTOR'S RESPONSIBILITY FOR REVIEW OF TOTAL BID PACKAGE PRIOR TO BID SUBMITTAL.
 - SUBCONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES WITHIN CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION.
 - THE SUBCONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE ON THE SITE AT ALL TIMES. SILT AND EROSION CONTROL SHALL BE MAINTAINED ON THE DOWNSTREAM SIDE OF THE SITE AT ALL TIMES. ANY DAMAGE TO ADJACENT PROPERTIES WILL BE CORRECTED AT THE SUBCONTRACTOR'S EXPENSE.
 - CLEARING OF TREES AND VEGETATION ON THE SITE SHOULD BE HELD TO A MINIMUM. ONLY THE TREES NECESSARY FOR CONSTRUCTION OF THE FACILITIES SHALL BE REMOVED. ANY DAMAGE TO PROPERTY OUTSIDE THE LEASED PROPERTY SHALL BE REPAIRED BY THE SUBCONTRACTOR.
 - ALL SUITABLE BORROW MATERIAL FOR BACK FILL TO THE SITE SHALL BE INCLUDED IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES PRIOR TO DISPOSAL.
 - SEEDING AND MULCHING OF THE SITE WILL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE SITE DEVELOPMENT. THE SUBCONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING ADEQUATE COVER OF VEGETATION OVER THE SITE FOR A ONE YEAR PERIOD.
 - PERMITS: THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND INCURRING THE COST OF ALL REQUIRED PERMITS, INSPECTIONS, CERTIFICATES, ETC.
 - RECORD DRAWINGS: MAKE A RECORD OF ALL CHANGES, SUBSTITUTIONS BETWEEN WORKS AS DESCRIBED AND INSTALLED. RECORD CHANGES ON A CLEAN SET OF CONTRACT DRAWINGS WHICH SHALL BE TURNED OVER TO THE CONSTRUCTION MANAGER UPON COMPLETION OF THE PROJECT.
 - IF THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURES, ABOVE GROUND STRUCTURES OF THE SUBCONTRACTOR TO VERIFY ALL UTILITIES, PRELIMINARY AND OTHER STRUCTURES SHOWN OR NOT SHOWN ON THESE PLANS. THE SUBCONTRACTOR SHALL CONTACT ONE CALL NUMBER ON T-1 BEFORE BEGINNING OR DRILLING ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AND ENGINEER AT THE SUBCONTRACTOR'S EXPENSE.

File Number: 176-C-069

Referred on: 09/09/21



GENERAL DYNAMICS

9400 WILLIAMSBURG PLAZA
LOUISVILLE, KY 40222

DOWNTOWN WAKUESHA
500 RIVERVIEW AVENUE
WAKUESHA, WI 53188
EXISTING CHIMNEY
SITE #: W30159
FA: 10011988

| | | | |
|--------------|-----------|-----|--------------------|
| PROJECT NO.: | 165404001 | | |
| CHECKED BY: | BLB | | |
| ISSUED FOR: | | | |
| REV | DATE | BY | DESCRIPTION |
| A | 2/7/21 | BLB | PRELIMINARY REVIEW |
| B | 3/2/21 | PLP | CONSTRUCTION |

BAT ENGINEERING, INC.

CHAD E. LITTLE
36349-006
TULSA, OK
PROFESSIONAL ENGINEER
02/15/21

U.S. LICENSE NO. 36349-006, STATE OF OKLAHOMA
ISSUED 02/15/21, EXPIRES 02/15/23
GOOD IN FULL FOR PROFESSIONAL ENGINEERING

SHEET NUMBER: **A-1** | REVISION: **0**

- POWER ROUTING KEYED NOTES:**
- (E) AT&T A/C BREAKER PANEL/MANUAL TRANSFER SWITCH INTERCEPT (E) CONDUIT AND CONDUCTORS AND RE-ROUTE THROUGH NEW ATS (E-30-0'), COORDINATE PATH WITH CONSTRUCTION MANAGER
 - (E) AT&T AC LOAD CENTER
 - NEW AT&T UNDERGROUND GENERATOR CONDUIT ROUTE (E-40'-0'). CONTRACTOR TO LOCATE (E) UTILITIES PRIOR TO EXCAVATION.
 - (E) AT&T 100A SUB-PANEL
- GENERATOR KEYED NOTES:**
- NEW AT&T 24KW DIESEL GENERATORS W/ SOUND ATTENUATED ENCLOSURE, NORMAL/EMERGENCY TANK ON A CONCRETE PAD. SEE ATTACHED SHEETS & S-1.
 - FUEL TANK SHALL BE PROVIDED WITH SPILL CONTROL WITH A SOLID FILL CONNECTION, AND WITH OVERRILL PREVENTION.
 - FUEL TANK NORMAL AND EMERGENCY VENTS SHALL TERMINATE AT LEAST 12'-0" ABOVE THE ADJACENT GRADE.
 - NEPA 704 PLACARD AND OTHER SIGNAGE.
- ATS/EQUIPMENT KEYED NOTES:**
- FIRE EXTINGUISHER (2A-20BC OR APPROVED EQUAL) PER IFC 908.3 IN EACH TANK (E-30'-0" MAX ABOVE GRADE). MOUNTED TO BUILDING WALL OR UTILITY FRAME PER IFC 908.9 (5'-0" MAX ABOVE GRADE)
 - EMERGENCY SHUTOFF SWITCH MOUNT TO BUILDING WALL OR UTILITY FRAME PER IFC 908.9 (5'-0" MAX ABOVE GRADE)
 - NEW ATS W/ CAMLOCK MOUNTED ON NEW UTILITY FRAME UNSTRUCT RAILS WITH 36" FRONT CLEARANCE. SEE SHEET C-3.
 - NEW UTILITY FRAME WITH UNSTRUCT RAILS. SEE SHEET C-3.

NOTES:

CONTRACTOR TO CALL 811 OR OTHER LOCAL JOINT UTILITY LOCATOR SERVICE TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

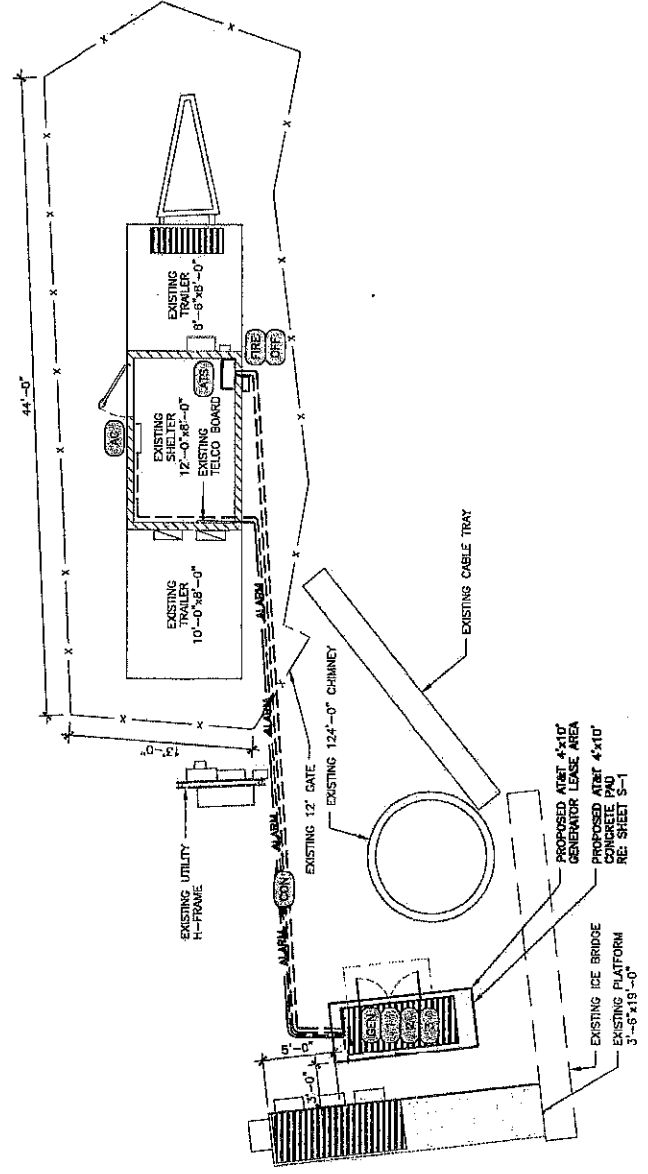
SEE SHEETS E-1 & E-2 FOR CONDUIT & WIRING SPECIFICATIONS/SINGLE LINE DIAGRAM.

CHANGE ORDERS WILL NOT BE ACCEPTED FOR UNAPPROVED WORK.

RE: S/E-1 FOR UTILITY TRENCH DETAILS.

CONTRACTOR TO PURCHASE THE EXCEL SIGN "DIESEL GENERATOR COMBO PACK" P/N: ATI-1002-DC-BKIT AND SHALL PLACE THEM ON THE SITE PER AT&T STANDARDS.

ALL BELOW GRADE CONDUIT TO BE SCHEDULE 40 PVC UNLESS NOTED OTHERWISE.



1 SITE PLAN

SCALE: 1"=100'

0 50 100 150 200'



GENERAL DYNAMICS
9400 WILSON BLVD
LOUISVILLE, KY 40258

DOWNTOWN WAKESHA
500 RIVERVIEW AVENUE
WAKESHA, WI 53188
SITE #: W10159
FA: 10011988
EXISTING CHIMNEY

| | | |
|-------------|------------|-------------------------|
| PROJECT NO: | 1465000101 | |
| CHECKED BY: | DLB | |
| ISSUED FOR: | | |
| REV | DATE | DESCRIPTION |
| A | 2/7/21 | REP. PRELIMINARY REVIEW |
| B | 5/25/21 | REP. CONSTRUCTION |

BRT ENGINEERING, INC.

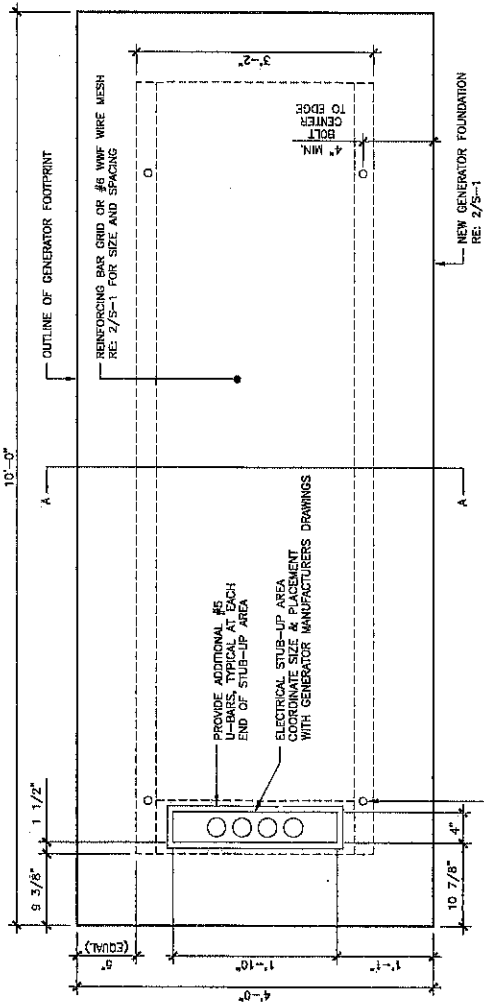
CHAD E. LITTLE
36349-006
TULSA, OK
PROFESSIONAL ENGINEER
05/31/21

THIS IS A NEW COPY OF THIS DRAWING AND DOES NOT REPRESENT THE ORIGINAL DRAWING. ANY CHANGES TO THIS DRAWING MUST BE MADE TO THE ORIGINAL DRAWING.

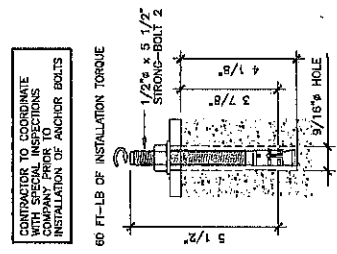
SHEET NUMBER: **S-1**
REVISION: **0**

Referred to: JU 11

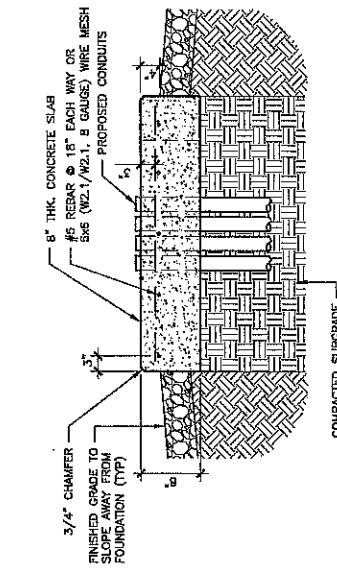
- NOTES:**
- FINAL SITE DESIGN IS THE RESPONSIBILITY OF THE SITE CONTRACTOR.
 - UNLESS NOTED OTHERWISE, CONCRETE SHALL BEACH A MINIMUM COMPRESSIVE STRENGTH OF 2700 PSI IN 28 DAYS FOR FOUNDATIONS, SLABS AND CONDUIT ENGAGEMENTS. CONCRETE SHALL HAVE A NOMINAL SLUMP AND 4.5-6.5% AIR CONTENT. COMPRESSIVE STRENGTH TEST TO BE PERFORMED ON CONCRETE USED FOR FOUNDATION ONLY.
 - UNLESS NOTED OTHERWISE, ALL REINFORCING STEEL SHALL BE ASTM A-615, GRADE 60 DEFORMED BARS.
 - UNLESS NOTED OTHERWISE, ALL DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL CONFORM TO THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 318)
 - ALL BAR SPLICES SHALL BE CLASS "B" TENSION SPLICED, UNLESS NOTED OTHERWISE.
 - CHAMFER ALL EXPOSED EXTERNAL CORNERS OF CONCRETE WITH A 3/4" x 45° CHAMFER, UNLESS NOTED OTHERWISE.
 - FINISHED SLAB TO BE LEVEL ± 1/4".
 - FLEXIBLE UTILITY CONNECTIONS WILL BE USED AT UNDERGROUND TO GENERATOR INTERCONNECTIONS.
 - SLAB FOUNDATION DESIGNED ASSUMING ALLOWABLE SOIL BEARING PRESSURE OF 1500 PSF FOR ALL AREAS. ALL FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A PLASTERED INTERIOR SURFACE. FINISHING AGENT SHALL MEET VERY CONDITIONS BEFORE PLACEMENT OF CONCRETE.
 - DO NOT USE CARBIDE CONTAINING ADMIXTURES. READY MIX CONCRETE SUPPLIERS TO BE INVOICED. CERTIFIED HOT WEATHER CONCRETE TO COMPLY WITH ACI 308R. NO ADDITIONAL WATER SHALL BE ADDED TO CONCRETE AT THE JOB SITE.
 - CONCRETE TO BE NORMAL DENSITY WITH A MAXIMUM SLUMP OF 4" INCHES. MAXIMUM AGGREGATE SIZE 3/4".
 - ALL FROM WORK OFFSET TOLERANCES. (PER ACI 117) TO BE CLASS A.
 - INSTALL EQUIPMENT ANCHORAGE PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.



1 TYPICAL GENERATOR FOUNDATION PLAN
SCALE: N.T.S.



3 MOUNTING HOLE DETAIL
SCALE: N.T.S.



2 SECTION A-A
SCALE: N.T.S.

File Number: 176-O-069

Referred on: 09/09/21



GENERAL DYNAMICS
9403 WILLIAMSBURG PLAZA
LOUISVILLE, KY 40222

DOWNTOWN WAKESHA
500 RIVERVIEW AVENUE
WAKESHA, WI 53188
EXISTING CHIMNEY
SITE #: WT0159
FA: 10011988

| | | | |
|-------------|-------------|-----|--------------------|
| PROJECT NO: | 14634003.01 | | |
| CHECKED BY: | RLB | | |
| ISSUED FOR: | | | |
| REV | DATE | BY | DESCRIPTION |
| A | 2/7/21 | RLB | PRELIMINARY REVIEW |
| D | 3/23/21 | PPP | CONSTRUCTION |

B+T ENGINEERING, INC.

CHAD E. LITTLE
36349-006
TULSA, OK
PROFESSIONAL ENGINEER

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SHEET NUMBER: **E-1** | REVISION: **0**

Referred to: JU 12

GENERATOR ALARM ID CHART

| NAME | DESCRIPTION |
|------|------------------------------|
| CF | CRITICAL FAILURE |
| FLO | FUEL LEAK OVERFILL |
| GR | GENERATOR RUNNING |
| LF | LOW FUEL |
| MAF | MAJOR FAULT |
| MF | MINOR FAULT |
| FL | GEN FUEL LEAK TANK WHI/SLATE |

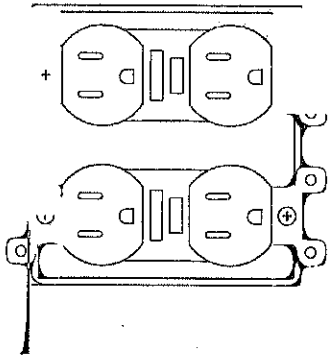
NOTE: CONTRACTOR TO LABEL WIRES W/ P-TOUCH OR SIMILAR LABELS ONLY. ABSOLUTELY NO HANDWRITTEN LABELS.

- ALARM REQUIREMENTS: ALARMS CONFIRMED WORKING; NORMALLY CLOSED VOLT-FREE CONTACT FOR:
- GENERATOR RUN
 - GENERATOR FAIL
 - FUEL LEAK
 - FUEL LEAK OVERFILL
 - LOW FUEL
 - MAJOR FAULT
 - MINOR FAULT
 - GEN FUEL LEAK TANK WHI/SLATE
- EQUIP 12-PAIR DIRECT BURIAL
- GENERATOR RUN - ALARM PORT #14 (ORANGE & WHITE)
 - GENERATOR FAIL - ALARM PORT #15 (BLUE & WHITE)
 - LOW FUEL - ALARM PORT #32 ON I/O BOARD (GREEN & WHITE)
 - FUEL LEAK - P32 ON I/O BOARD (BROWN & WHITE)
 - FUEL LEAK OVERFILL - P33 ON I/O BOARD (BROWN & WHITE)
 - MAJOR FAULT - P34 ON I/O BOARD (BROWN & WHITE)
 - MINOR FAULT - P35 ON I/O BOARD (BROWN & WHITE)
- AUTOMATIC TRANSFER SWITCH (IF APPLICABLE)
- COMMERCIAL POWER FAIL IF REQUIRED (BLUE WHITE)
 - TRANSFER SWITCH POSITION (BROWN WHITE)
 - LOCK ALARM (BROWN WHITE)
 - UNLOCK ALARM (BROWN WHITE)
- CHANGE ALARM COLOR CODE
- PORTABLE GENERATOR RUNNING (ORANGE WHITE) (IF REQUIRED)

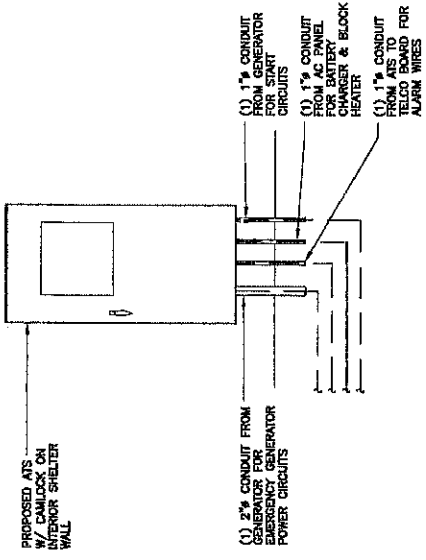
NOTE: PLEASE LEAVE ABOUT 6" OF CAUSE FOR SERVICE LOOP AND GROOMING

2 ALARM PIN-OUT
SCALE: N.T.S.

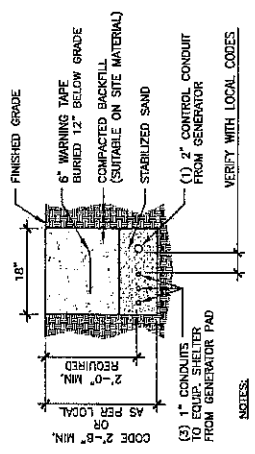
NOTE:
CONTRACTOR TO LABEL GFCI RECEPTACLES
INSIDE PROPOSED GENERATOR ENCLOSURE.



1 RECEPTACLE DETAIL
SCALE: N.T.S.



4 PROPOSED ATS
SCALE: N.T.S.



- NOTES:
- SEPARATION DIMENSION TO BE VERIFIED WITH LOCAL UTILITY CO. REQUIREMENTS.
 - PROVIDE PVC CONDUIT BELOW GRADE EXCEPT AS NOTED BELOW.
 - PROVIDE RGS CONDUIT AND ELBOWS AT STUB UP LOCATIONS (I.E. SERVICE POLE, BVS EQUIPMENT, ETC.,).
 - INSTALL UTILITY PULLHOOKS PER NEC.
 - FOLLOW MINIMUM COVER REQUIREMENTS PER NEC TABLE 300-5

3 UTILITY TRENCH DETAIL
SCALE: N.T.S.

File Number: 176-O-069

Referred on: 09/09/21



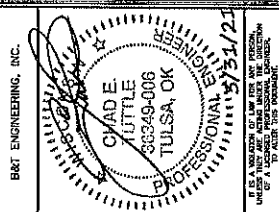
GENERAL DYNAMICS
9405 MILLAMBERG PLAZA
LOUISVILLE, KY 40228

DOWNTOWN WAKESHA
500 RIVERVIEW AVENUE
WAKESHA, WI 53188
EXISTING CHIMNEY
SITE #: W10159
FA: 10011988

PROJECT NO: 1463200001
CHECKED BY: BLS

ISSUED FOR:

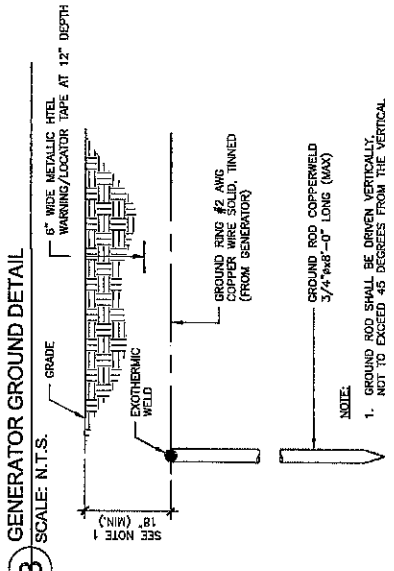
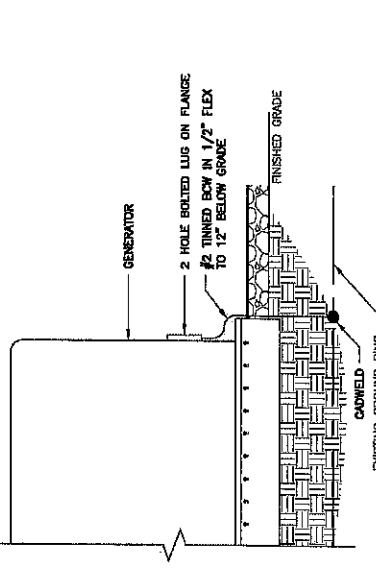
| REV | DATE | DESCRIPTION |
|-----|---------|--------------------|
| 1 | 2/7/21 | PRELIMINARY REVIEW |
| 2 | 3/21/21 | CONSTRUCTION |



SHEET NUMBER: **E-2**
REVISION: **0**

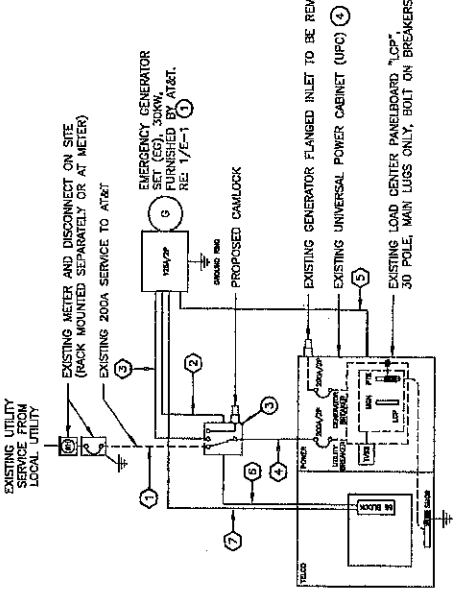
Referred to: JU 13

- NOTES:**
1. NEW GENSET PROVIDED BY AT&T AND INSTALLED BY CONTRACTOR. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FURNISH AND INSTALL ALL MATERIALS, COMPONENTS, ETC. WHICH ARE NOT SUPPLIED BY THE MANUFACTURER OR EQUIPMENT MANUFACTURER AND TO FURNISH A COMPLETE AND OPERATIONAL SYSTEM.
 2. ROUTE NEW UNDER GROUND POWER, CONTROL, AND INDICATION CONDUITS FROM GENSET TO EXISTING AT&T EQUIPMENT CABINETS.
 3. MAINTAIN ALL CLEARANCES AS REQUIRED BY THE NATIONAL ELECTRICAL CODE.
 4. PROVIDE AND INSTALL TWO GROUND RODS WITH INSPECTION SLEEVES (ONE AT EACH END OF GROUND ROD) TO BE USED AS APPROVED THROUGH CONNECTOR BOND GROUND ROD TO GROUND ROD. USE 3/4" X 8' COPPER GROUND ROD WITH 1/2" DIA. INSPECTION SLEEVE AT CONNECTION POINT. SEE INSPECTION SLEEVE DETAILS.
 5. BOND METALIC CONDUITS TO BURIED GROUND RING (SYSTEM) AS THEY CROSS USING PIPE CLAMP. DO NOT EXOTHERMICALLY WELD TO CONDUIT.
 6. BOND ALL EXTERIOR CONDUITS, PIPES AND CYLINDRICAL METALLIC OBJECTS WITH A PENNUNION GT SERIES CLAMP, BLACKBURN GAY SERIES CLAMP OR A BURNDY GAR 3800BU SERIES CLAMP ONLY. NO SUBSTITUTES ACCEPTED.
 7. BOND FENCE POST TO GROUND RING (WHERE APPLICABLE) USING AN EXOTHERMIC WELD.



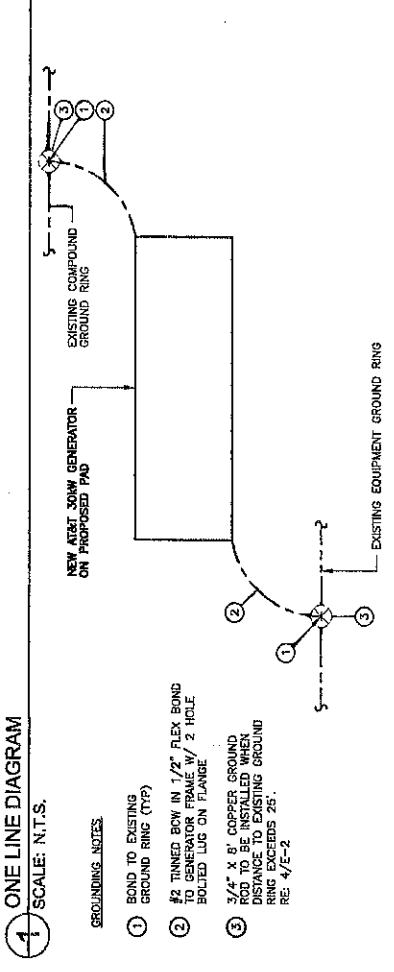
ONE LINE DIAGRAM NOTES:

1. CONTRACTOR SHALL FURNISH AND INSTALL CONDUITS AND POWER CONDUCTORS AS INDICATED FROM GENERATOR TO POWER CABINET.
2. CONTRACTOR SHALL PROVIDE AND INSTALL FEEDS FROM POWER CABINET TO GENERATOR FOR BATTERY CHARGER AND BLOCK HEATER AS INDICATED.
3. AUTOMATIC TRANSFER SWITCH (ATS) W/ CAMLOCK, FURNISHED BY CUSTOMER AND INSTALLED BY CONTRACTOR. ATS IS 120/240V, 3 POSITION, 200A, NEMA, 3R WITH SINGLE PHASE SENSING, AUTOMATIC ENGINE STARTING, UL LISTED 100B, DO NOT BOND GENERATOR NEUTRAL TO GROUND OR GENERATOR FRAME. GENERATOR NEUTRAL IS BONDED TO SERVICE ENTRANCE NEUTRAL, BOND VIA SOLIDLY GROUNDED ATS (OPEN TRANSITION, FLOATING NEUTRAL AT GENERATOR)
4. DO NOT BOND GENERATOR NEUTRAL TO GROUND OR GENERATOR FRAME. GENERATOR NEUTRAL IS BONDED TO SERVICE ENTRANCE NEUTRAL, BOND VIA SOLIDLY GROUNDED ATS (OPEN TRANSITION, FLOATING NEUTRAL AT GENERATOR)



CABLE AND CONDUIT SCHEDULE

| NO. | FROM | TO | WIRES | GROUND | CONDUIT SIZE | FUNCTION |
|-----|------------------------|------------------------|----------------|---------|--------------|--|
| 1 | SERVICE PROVIDER | PROPOSED ATS | (3) 3/0 | (1) #4 | 2" | POWER FEED |
| 2 | PROPOSED ATS | GENERATOR | (2) #14 | (1) #14 | 1" | START CIRCUIT |
| 3 | PROPOSED ATS | PROPOSED ATS | (3) 1/0 | (1) #2 | 2" | POWER FEED |
| 4 | PROPOSED ATS | EXISTING CIRCUIT PANEL | (3) 3/0 | (1) #4 | 2" | POWER FEED |
| 5 | EXISTING CIRCUIT PANEL | GENERATOR | (4) #12 | (2) #12 | 1" | 20 AMP CIRCUIT FOR GENERATOR BLOCK HEATER, BATTERY HEATER & BATTERY CHARGER |
| 6 | PROPOSED ATS | EXISTING ALARM | 4-PAIR 24 AWG | N/A | 1" | ALARM CABLES FROM ATS. PROVIDE 24" OF SLACK CABLE. FINAL PUNCH DOWN IS BY AT&T TECH. LABEL ALL WIRES |
| 7 | GENERATOR | EXISTING ALARM | 12-PAIR 24 AWG | N/A | 1" | ALARM CABLES FROM ATS. PROVIDE 24" OF SLACK CABLE. FINAL PUNCH DOWN IS BY AT&T TECH. LABEL ALL WIRES |



File Number: 176-Q-069

Referred on: 09/09/21

CONFIGURABLE OPTIONS

ENGINE SYSTEM

- Oil Heater
- Critical Silencer (Open Set Only)
- Radiator Stone Guard
- Level 1 Fan and Belt Guards (Enclosed Units Only)

FUEL SYSTEM

- NPT Flexible Fuel Line

ELECTRICAL SYSTEM

- 10A UL Listed Battery Charger
- Battery Warmer

ALTERNATOR SYSTEM

- Alternator Upsizing
- Anti-Condensation Heater
- Tropical Coating
- Permanent Magnet Excitation

GENERATOR SET

- Extended Factory Testing
- 8 Position Load Center
- Pad Vibration Isolation

CIRCUIT BREAKER OPTIONS

- Main Line Circuit Breaker
- 2nd Main Line Circuit Breaker
- Shunt Trip and Auxiliary Contact
- Electronic Trip Breakers

ENCLOSURE

- Weather Protected Enclosure
- Level 1 Sound Attenuation
- Level 2 Sound Attenuation
- Level 2 Sound Attenuation with Motorized Dampers
- Steel Enclosure
- Aluminum Enclosure
- Up to 200 MPH Wind Load Rating (Contact Factory for Availability)
- AC/DC Enclosure Lighting Kit
- Door Open Alarm Switch
- Enclosure Heater
- Damper Alarm Contacts

WARRANTY (Standby Gensets Only)

- 2 Year Extended Limited Warranty
- 5 Year Limited Warranty
- 5 Year Extended Limited Warranty
- 7 Year Extended Limited Warranty
- 10 Year Extended Limited Warranty

CONTROL SYSTEM

- NFPA 110 Compliant 21-Light Remote Annunciator
- Remote Relay Assembly (8 or 16)
- Oil Temperature Indication and Alarm
- Remote E-Stop (Break Glass-Type, Surface Mount)
- Remote E-Stop (Red Mushroom-Type, Surface Mount)
- Remote E-Stop (Red Mushroom-Type, Flush Mount)
- 100 dB Alarm Horn
- Ground Fault Annunciation
- 120V GFCI and 240V Outlets
- Remote Communication - Modem
- 10A Engine Run Relay

FUEL TANKS (Size On Last Page)

- 8 in (203.2 mm) Fill Extension
- 13 in (330.2 mm) Fill Extension
- 19 in (482.6 mm) Fill Extension
- Overfill Protection Valve
- 5 Gallon Spill Box Return Hose
- 5 Gallon Spill Box
- Tank Risers
- Fuel Level Switch and Alarm
- 12' Vent System
- Fire Rated Stainless Steel Fuel Hose

ENGINEERED OPTIONS

ENGINE SYSTEM

- Coolant Heater Isolation Ball Valves
- Fluid Containment Pan

CONTROL SYSTEM

- Spare Inputs (x4) / Outputs (x4)
- Battery Disconnect Switch

ALTERNATOR SYSTEM

- 3rd Breaker System

GENERATOR SET

- Special Testing

FUEL TANKS

- UL2085 Tank
- Stainless Steel Tanks
- Special Fuel Tanks
- Vent Extensions

APPLICATION AND ENGINEERING DATA

ENGINE SPECIFICATIONS

General

| | |
|------------------------------------|-------------------------|
| Make | Perkins |
| EPA Emissions Compliance | Stationary Emergency |
| EPA Emissions Reference | See Emission Data Sheet |
| Cylinder # | 4 |
| Type | In-Line |
| Displacement - in ³ (L) | 135 (2.22) |
| Bore - in (mm) | 3.3 (84) |
| Stroke - in (mm) | 3.9 (100) |
| Compression Ratio | 23.3:1 |
| Intake Air Method | Turbocharged |
| Cylinder Head | Cast Iron |
| Piston Type | Aluminum |
| Crankshaft Type | Forged Steel |

Engine Governing

| | |
|-------------------------------------|------------------------|
| Governor | Electronic Isochronous |
| Frequency Regulation (Steady State) | ±0.5% |

Lubrication System

| | |
|-----------------------------|-------------|
| Oil Pump Type | Gear |
| Oil Filter Type | Full-Flow |
| Crankcase Capacity - qt (L) | 11.2 (10.6) |

Cooling System

| | |
|------------------------|-------------------------|
| Cooling System Type | Closed Recovery |
| Water Pump Type | Pre-Lubed, Self Sealing |
| Fan Type | Pusher |
| Fan Speed - RPM | 1,980 |
| Fan Diameter - in (mm) | 18 (457) |

Fuel System

| | |
|----------------------------|---------------------------------|
| Fuel Type | Ultra Low Sulfur Diesel Fuel #2 |
| Fuel Specifications | ASTM |
| Fuel Filtering (Microns) | 5 |
| Fuel Inject Pump | Distribution Injection Pump |
| Fuel Pump Type | Engine Driven Gear |
| Injector Type | Mechanical |
| Fuel Supply Line - in (mm) | 0.31 (7.9) ID |
| Fuel Return Line - in (mm) | 0.2 (4.8) ID |

Engine Electrical System

| | |
|----------------------------|------------------------------|
| System Voltage | 12 VDC |
| Battery Charger Alternator | Standard |
| Battery Size | See Battery Index 0161970SBY |
| Battery Voltage | 12 VDC |
| Ground Polarity | Negative |

ALTERNATOR SPECIFICATIONS

| | |
|-------------------------------------|--------------------|
| Standard Model | K0035124Y21 |
| Poles | 4 |
| Field Type | Revolving |
| Insulation Class - Rotor | H |
| Insulation Class - Stator | H |
| Total Harmonic Distortion | <5% (3-Phase Only) |
| Telephone Interference Factor (TIF) | < 50 |

| | |
|------------------------------------|--------------------------|
| Standard Excitation | Synchronous Brushless |
| Bearings | Single Sealed |
| Coupling | Direct via Flexible Disc |
| Load Capacity - Standby | 100% |
| Prototype Short Circuit Test | Yes |
| Voltage Regulator Type | Digital |
| Number of Sensed Phases | All |
| Regulation Accuracy (Steady State) | ±0.25% |

SPEC SHEET

SD030 | 2.2L | 30 kW
INDUSTRIAL DIESEL GENERATOR SET
 EPA Certified Stationary Emergency



OPERATING DATA

POWER RATINGS

| | | Standby |
|---------------------------------|-------|-----------|
| Single-Phase 120/240 VAC @1.0pf | 30 kW | Amps: 125 |
| Three-Phase 120/208 VAC @0.8pf | 30 kW | Amps: 104 |
| Three-Phase 120/240 VAC @0.8pf | 30 kW | Amps: 90 |
| Three-Phase 277/480 VAC @0.8pf | 30 kW | Amps: 45 |
| Three-Phase 346/600 VAC @0.8pf | 30 kW | Amps: 36 |

MOTOR STARTING CAPABILITIES (skVA)

| skVA vs. Voltage Dip | | | | | |
|----------------------|-----|----------------|-----|----------------|-----|
| 120/240 VAC 1Ø | 30% | 277/480 VAC 3Ø | 30% | 208/240 VAC 3Ø | 30% |
| A0035044N21 | 20 | K0035124Y21 | 61 | K0035124Y21 | 46 |
| A0040044N21 | 24 | K0040124Y21 | 76 | K0040124Y21 | 58 |
| A0050044N21 | 31 | K0050124Y21 | 98 | K0050124Y21 | 75 |

FUEL CONSUMPTION RATES*

| Fuel Pump Lift- ft (m) | Diesel - gph (Lph) | |
|--|--------------------|------------|
| | Percent Load | Standby |
| 3 (1) | 25% | 1.0 (3.7) |
| | 50% | 1.4 (5.2) |
| Total Fuel Pump Flow (Combustion + Return) - gph (Lph) | 75% | 2.0 (7.5) |
| 16.6 (63) | 100% | 2.8 (10.5) |

* Fuel supply installation must accommodate fuel consumption rates at 100% load.

COOLING

| | | Standby |
|---|-----------------------------|---------------|
| Coolant Flow | gpm (Lpm) | 14.9 (56.2) |
| Coolant System Capacity | gal (L) | 2.5 (9.5) |
| Heat Rejection to Coolant | BTU/hr (kW) | 128,638 (136) |
| Inlet Air | cfm (m³/hr) | 2,800 (4,757) |
| Maximum Operating Ambient Temperature | °F (°C) | 122 (50) |
| Maximum Operating Ambient Temperature (Before Derate) | See Bulletin No. 0199280SSD | |
| Maximum Additional Radiator Backpressure | in H ₂ O (kPa) | 0.5 (0.12) |

COMBUSTION AIR REQUIREMENTS

| | Standby |
|------------------------------------|----------|
| Flow at Rated Power - cfm (m³/min) | 88 (2.5) |

ENGINE

| | | Standby |
|--------------------------|----------------|-------------|
| Rated Engine Speed | RPM | 1,800 |
| Horsepower at Rated kW** | hp | 49 |
| Piston Speed | ft/min (m/min) | 1,181 (360) |
| BMEP | psi (kPa) | 159 (1,096) |

EXHAUST

| | | Standby |
|---|--------------|-------------|
| Exhaust Flow (Rated Output) | cfm (m³/min) | 296.6 (8.4) |
| Max. Allowable Backpressure (Post Turbocharger) | inHg (kPa) | 1.5 (5.1) |
| Exhaust Temperature (Rated Output) | °F (°C) | 892 (478) |

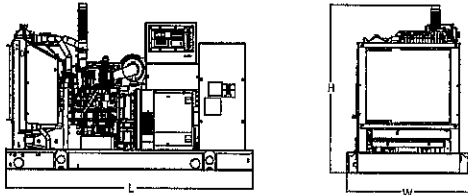
** Refer to "Emissions Data Sheet" for maximum bHP for EPA and SCAQMD permitting purposes.

Deration – Operational characteristics consider maximum ambient conditions. Derate factors may apply under atypical site conditions. Please contact a Generac Power Systems Industrial Dealer for additional details. All performance ratings in accordance with ISO3046, BS5514, ISO8528, and DIN6271 standards. Standby - See Bulletin 0187500SSB Prime - See Bulletin 0187510SSB

SD030 | 2.2L | 30 kW
INDUSTRIAL DIESEL GENERATOR SET
 EPA Certified Stationary Emergency

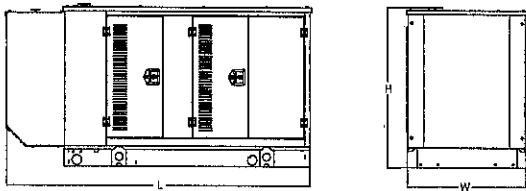


DIMENSIONS AND WEIGHTS*



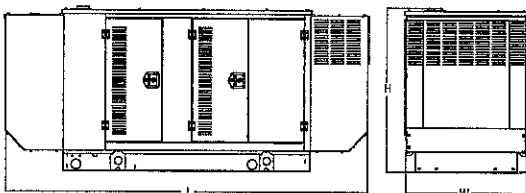
OPEN SET

| Run Time - Hours | Usable Capacity - Gal (L) | L x W x H - in (mm) | Weight - lbs (kg) | |
|------------------|---------------------------|--|-------------------|-----------------------|
| | | | Steel | Aluminum |
| No Tank | - | 76.0 (1,930) x 37.4 (950) x 44.8 (1,138) | 1,456 | 1,641 (661 - 745) |
| 19 | 54 (204) | 76.0 (1,930) x 37.4 (950) x 57.8 (1,468) | 1,936 | 2,121 (879 - 963) |
| 47 | 132 (500) | 76.0 (1,930) x 37.4 (950) x 69.8 (1,773) | 2,166 | 2,351 (983 - 1,067) |
| 67 | 190 (719) | 76.0 (1,930) x 37.4 (950) x 79.3 (2,014) | 2,380 | 2,565 (1,081 - 1,165) |
| 75 | 211 (799) | 76.0 (1,930) x 37.4 (950) x 81.8 (2,078) | 2,375 | 2,560 (1,078 - 1,162) |
| 107 | 300 (1,136) | 92.9 (2,360) x 37.4 (950) x 85.3 (2,167) | 2,438 | 2,623 (1,106 - 1,190) |



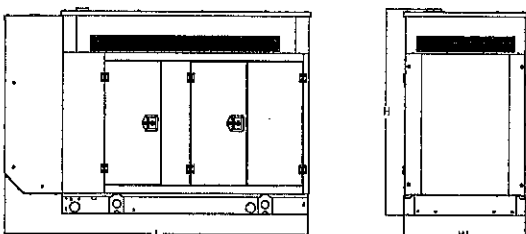
WEATHER PROTECTED ENCLOSURE

| Run Time - Hours | Usable Capacity - Gal (L) | L x W x H - in (mm) | Weight - lbs (kg) Enclosure Only | |
|------------------|---------------------------|---|----------------------------------|-----------|
| | | | Steel | Aluminum |
| No Tank | - | 94.8 (2,409) x 38.0 (965) x 49.5 (1,258) | | |
| 19 | 54 (204) | 94.8 (2,409) x 38.0 (965) x 62.5 (1,588) | | |
| 47 | 132 (500) | 106.0 (2,692) x 38.0 (965) x 84.0 (2,134) | 372 (169) | 241 (109) |
| 67 | 190 (719) | 94.8 (2,409) x 38.0 (965) x 84.0 (2,134) | | |
| 75 | 211 (799) | 76.0 (1,930) x 38.0 (965) x 86.5 (2,198) | | |
| 107 | 300 (1,136) | 92.9 (2,360) x 38.0 (965) x 90.0 (2,287) | | |



LEVEL 1 SOUND ATTENUATED ENCLOSURE

| Run Time - Hours | Usable Capacity - Gal (L) | L x W x H - in (mm) | Weight - lbs (kg) Enclosure Only | |
|------------------|---------------------------|---|----------------------------------|-----------|
| | | | Steel | Aluminum |
| No Tank | - | 112.5 (2,857) x 38.0 (965) x 49.5 (1,258) | | |
| 19 | 54 (204) | 112.5 (2,857) x 38.0 (965) x 62.5 (1,588) | | |
| 47 | 132 (500) | 112.5 (2,857) x 38.0 (965) x 74.5 (1,893) | 505 (229) | 338 (153) |
| 67 | 190 (719) | 112.5 (2,857) x 38.0 (965) x 84.0 (2,134) | | |
| 75 | 211 (799) | 112.5 (2,857) x 38.0 (965) x 86.5 (2,198) | | |
| 107 | 300 (1,136) | 112.5 (2,857) x 38.0 (965) x 90.0 (2,287) | | |



LEVEL 2 SOUND ATTENUATED ENCLOSURE

| Run Time - Hours | Usable Capacity - Gal (L) | L x W x H - in (mm) | Weight - lbs (kg) Enclosure Only | |
|------------------|---------------------------|---|----------------------------------|-----------|
| | | | Steel | Aluminum |
| No Tank | - | 94.8 (2,409) x 38.0 (965) x 49.5 (1,258) | | |
| 19 | 54 (204) | 94.8 (2,409) x 38.0 (965) x 62.5 (1,588) | | |
| 47 | 132 (500) | 94.8 (2,409) x 38.0 (965) x 74.5 (1,893) | 510 (231) | 341 (155) |
| 67 | 190 (719) | 106.0 (2,692) x 38.0 (965) x 84.0 (2,134) | | |
| 75 | 211 (799) | 94.8 (2,409) x 38.0 (965) x 86.5 (2,198) | | |
| 107 | 300 (1,136) | 94.8 (2,409) x 38.0 (965) x 90.0 (2,287) | | |

* All measurements are approximate and for estimation purposes only. Specification characteristics may change without notice. Please contact a Generac Power Systems Industrial Dealer for detailed installation drawings.

Automatic Transfer Switch

200 Amps

Telecom Transfer Switch - TAS200

GENERAC | INDUSTRIAL
POWER

- Model G0063103-120/240V, Two Pole, Single Phase
- Model G0063113-120/240V, Two Pole, Single Phase with Camlock Component
- Model G0063123-120/208V, Three Pole, Three Phase
- Model G0063133-120/208V, Three Pole, Three Phase with Camlock Component

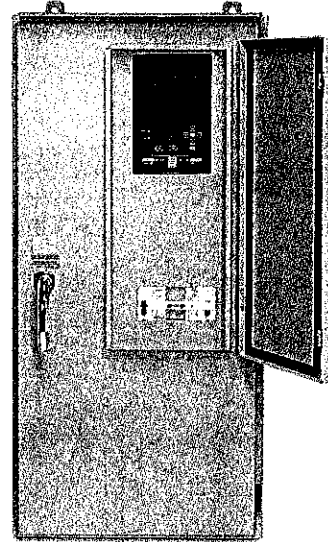


Image used for illustration purposes only

FEATURES

CODES AND STANDARDS



ETL Listed



NEC700, 701, 702



NEMA 250

STANDARD FEATURES

- Flexibility for Multiple Application Installations
- Multiple Generator Support with Three Source Panel
- LCD Display with Mimic Diagram
- Camlock Functionality for Mobile Generator Sources
- Steel Construction
- NEMA 3R Enclosure with Hinged "Padlocking" Doors
- Stainless Steel Hardware
- Camlock "Quick Connect" Capability
- Optional Status View via Controller
- Three-position Test Mode: Fast Test, Auto and Normal Test
- UL1008 Listed
- USB Port for Easy Updates and Data Collection
- Programmable Relay Option

CONFIGURABLE OPTIONS

- Extended Warranty
- Three Phase Voltage Configurations

CONTROLLER INTERFACE

Display

- 2.9 Inch Graphical LCD

Indicators

- Standby Operating Indicator
- Utility Available Indicator
- Generator/Utility Switch Position Indicator
- Auto/Manual Status
- Normal Test and Fast Test Functions
- Return to Normal Button on HMI
- Reset Button on HMI
- Exercising Indicator Alarm

Exercise Settings

- Time of Day
- Day of Week
- Exercise Options
 - With or without Load
 - Daily, Weekly, Bi-monthly or Monthly
 - Duration: 0 - 10 Hours

Diagnostic

- Digital I/O Bits Status (via Modbus Only)
- Voltage A/D Readings

Mimic Diagram

- Transfer Switch Position
- Utility Available
- Standby Available
- Generator Source TS Position

USB Port

- Easy Firmware Updates
- Download Historical Data

Automatic Transfer Switch

200 Amps

Telecom Transfer Switch - TAS200

SETTINGS

SYSTEM SETTINGS

| | |
|-------------------------|--|
| System Voltage/Phases | 120/240 VAC Single Phase (Standard) |
| | 120/208 VAC Three Phase (Optional) |
| | 120/240 VAC Three Phase (Optional) |
| Utility Fail Monitor | |
| Drop Out | Over Voltage 105 - 120% |
| | Under Voltage 50 - 97% |
| Pickup | Over Voltage Drop Out Setting -2% |
| | Under Voltage Drop Out Setting +2% |
| Under Frequency | 54 - 58 Hz |
| Over Frequency | 61 - 66 Hz |
| Utility Interrupt Delay | 0 - 120 Seconds |
| Return to Utility Timer | 0 - 30 Minutes |
| Transfer | Inphase or Time Delay Neutral: 0.0 - 120.0 Seconds in 1 Second Increments |
| Generator Load Accept | |
| Voltage | 85 - 95% of Nominal |
| Frequency | 51 - 57 Hz |

ENGINE SETTINGS

| | |
|--------------------------|----------------|
| Engine Warm-up Time | 0 - 30 Minutes |
| Engine Minimum Run Timer | 5 - 30 Minutes |
| Engine Cooldown Timer | 0 - 30 Minutes |

ELECTRICAL SPECIFICATIONS

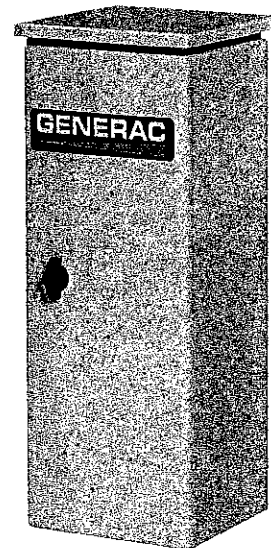
| | |
|---|-------------------------------------|
| Voltage/Phase/Amps | 120/240 Single Phase, 200A |
| | 120/208 Three Phase, 200A |
| | 120/240 Three Phase, 200A |
| Utility Breaker | Eaton 200A |
| Generator Breaker | Eaton 200A |
| Maximum RMS Symmetrical Fault Current - Amps | 25k AIC Rated |
| Protective Device Continuous Rating (Max) Amp | 200 |
| Input to Generator | 350 MCM - #6 AWG |
| Output to Site | 350 MCM - #6 AWG |
| Generator Annunciator Connector | Deutsch DTMO4-12PA-LO12 |
| Alarm Terminal Board | Generator Run Alarm |
| | Generator Fail - Shutdown Alarm |
| | Generator Fail - Non-shutdown Alarm |
| | Low Fuel Alarm |
| | Generator Theft Alarm |
| | AC Utility Fail Alarm |

CABINET SPECIFICATIONS

| | |
|------------------------|--|
| Dimensions (W x D x H) | 24 in (609.6 mm) x 12 in (304.8 mm) x 48 in (1,219.2 mm) |
| Weight | 210 lbs (95 kg) |
| Construction | Single Chamber with Main Door, with 3-Point Latching System with Padlockable Handles |
| Material | Steel |
| Rating | ETL Type/NEMA 3R |
| Finish | Powder Coat for Corrosion Resistance |
| Listing | ETL-US - Automatic Transfer Switch |
| Hardware | Stainless Steel |
| Mounting Options | Wall or H-Frame |
| Installed | Pre-wired Alarm Terminal Strip |

CAMLOCK COMPONENT

| | |
|--|--|
| Stripped Loose for Multiple Installation Options | |
| Dimensions (W x D x H) | 9 in (228.6 mm) x 9.4 in (238.8 mm) x 24 in (609.6 mm) |
| Rating | 200A |
| Generator Connections | |
| Single Phase | Black L1, Red L2, White-Neutral, Green-Ground |
| Three Phase | Black L1, Red L2, Blue L3, White-Neutral, Green-Ground |
| Uses 4 CH E1016 Male Connectors | |
| Mating Connector - CH E1016 Female | |



* All measurements are approximate and for estimation purposes only. Specification characteristics may change without notice. Please contact a Generac Power Systems Industrial Dealer for detailed installation drawings.

1 FIRST AMENDMENT TO LEASE AGREEMENT WITH UNITED
2 STATES CELLULAR OPERATING COMPANY LLC
3
4

5 WHEREAS, Waukesha County owns a radio tower (the "Tower") located at 120 Northview
6 Road, City of Waukesha, Waukesha County, State of Wisconsin (the "Site"); and
7

8 WHEREAS, United States Cellular Operating Company LLC, ("USCC") currently leases the Tower
9 and ground space at the Site for operation of a cellular communications facility pursuant to
10 that certain Tower and Ground Space Lease Agreement dated April 14, 2017 (the "Lease");
11 and
12

13 WHEREAS, USCC desires to replace, modify or relocate various equipment, antennas and/or
14 feedlines on the Tower in order to update aged equipment; and
15

16 WHEREAS, the County is willing to permit the upgrades, and otherwise amend the Lease
17 with USCC without requiring an increase in rent; and
18

19 WHEREAS, it is therefore necessary and desirable for the parties to execute an amendment
20 to the Lease to formalize their agreement.
21

22 THE COUNTY BOARD OF SUPERVISORS OF THE COUNTY OF WAUKESHA ORDAINS that the First
23 Amendment to Tower and Ground Space Lease between the County and USCC, as attached,
24 for use of the Tower and surrounding lands is hereby approved.
25

26 BE IT FURTHER ORDAINED that the Director of Emergency Preparedness or his designee is
27 authorized to execute the First Amendment to Lease Agreement and any other documents
28 necessary to effectuate the intent thereof.

FIRST AMENDMENT TO TOWER AND GROUND SPACE LEASE

This First Amendment to Tower and Ground Space Lease (the "First Amendment"), made this _____ day of _____, 2021, modifies that certain Tower and Ground Space Lease dated on or about April 14, 2017, (the "Lease") by and between Waukesha County, a municipal corporation, having an address of 515 W. Moreland Blvd., Waukesha, Wisconsin 53188 ("Landlord") and United States Cellular Operating Company LLC, a Delaware limited liability company, having as address at Attention: Real Estate Lease Management, 8410 West Bryn Mawr Avenue, Chicago, Illinois, 60631 ("Tenant").

WHEREAS, Landlord has leased to Tenant certain ground and tower space on Landlord's telecommunications tower (the "Tower") located at 1210 Northview Rd, Waukesha, Wisconsin for use as a telecommunications site; and,

WHEREAS, the Parties hereby agree to amend the Lease to describe changes to Lessee's equipment on the Premises;

NOW, THEREFORE, in consideration of these presents, the parties hereby agree that the License is now modified as follows:

1. Exhibit B is hereby deleted and replaced with Exhibit B-1 attached hereto and incorporated herein. Any references to Exhibit B within the Lease are hereby changed to Exhibit B-1.
2. Except as amended herein, all other terms of the Lease remain unchanged and in full force and effect.

IN WITNESS WHEREOF, Landlord and Tenant have executed this First Amendment as of the last signature date below.

Landord: Waukesha County

Tenant: United States Cellular Operating Company LLC

By: _____

By: _____

Printed: _____

Printed: _____

Title: _____

Title: Vice President

Date: _____

Date: _____

[NOTARY PAGE TO FOLLOW]

Site Name: Waukesha Airport

Site Number: 784305

STATE OF WISCONSIN)
)
COUNTY OF WAUKESHA)

I, the undersigned, a notary public in and for the State and County aforesaid, do hereby certify that Gary Bell, Waukesha County Director of Emergency Preparedness, known to me to be the same person whose name is subscribed to the foregoing First Amendment to Tower and Ground Space Lease, appeared before me this day in person and acknowledged that he signed the said First Amendment to Tower and Ground Space Lease as his free and voluntary act for the uses and purposes therein stated.

Given under my hand and seal this ____ day of _____, 2021.

Notary Public

My commission expires _____

STATE OF ILLINOIS)
)
COUNTY OF COOK)

I, the undersigned, a notary public in and for the State and County aforesaid, do hereby certify that _____, Vice President, for United States Cellular Operating Company LLC, known to me to be the same person whose name is subscribed to the foregoing First Amendment to Tower and Ground Space Lease, appeared before me this day in person and acknowledged that, pursuant to his/her authority, he/she signed the said First Amendment to Tower and Ground Space Lease as his/her free and voluntary act on behalf of the named Tenant, for the uses and purposes therein stated.

Given under my hand and seal this ____ day of _____, 2021.

Notary Public

My commission expires _____

Site Name: Waukesha Airport

Site Number: 784305

EXHIBIT B-1

SITE: Waukesha Airport Site #: 784305 FCC REGISTRATION #
TENANT NAME: United States Cellular Operating Company LLC TEL #: 1-866-573-4544
CONTACT: Real Estate Lease Management

ANTENNA INFORMATION

FCC Call Letters: Type of Modulation or other Emissions:
Type of antenna: Panel Make: Antel
Model: BXA-80063-8C How many antennas 3 Weight: 59# lbs each
Height: 96" x 10" x 12"
Usage: Transmit only Receive only Transmit & Receive X
Effective Radiated Power 500 Watts/channel Operating Frequency: multiple MHz
Mounting Brackets, Mounting Height & Mounting Orientation: Standard

Transmission line Mfg. & Type No: (6) Andrew and (3) Eupen
Outside Diameter: 7/8" Length: approx.

FCC Call Letters: Type of Modulation or other Emissions:
Type of antenna: Panel Make: Amphenol
Model: TWIN658LU000G-T How many antennas 6 Weight: lbs each
Height: 96" x 26" x 8"
Usage: Transmit only Receive only Transmit & Receive X
Effective Radiated Power Watts/channel Operating Frequency: multiple MHz
Mounting Brackets, Mounting Height & Mounting Orientation:

Transmission line Mfg. & Type No: (3) Eupen hybrid
Outside Diameter: 1 1/4" Length:

Site Name: Waukesha Airport

Site Number: 784305

I. Interference Suppression Equipment (specify in detail & attach specifications for any isolators, circulators, filters, intermodulation suppression panels, duplexers, etc.)
N/A

II. Other RF Equipment (specify and include AC Surge and Lightning Arrestor Power, Telephone & Transmission line devices)
Three (3) RRU-4449 radios, Three (3) RRU-8843 radios, Three RRU11 radios, Three (3) Raycap SPD's

III. Other Equipment (specify all other improvements, company property & personal property located at the site)
N/A

TENANT'S Equipment:

Building

Size: 12' x 24'

Type:

Location: Shelter to stay in existing location

Transmitted Rated Power:

Amount of Land required for building or cabinet: variable

Is Emergency Power provided by
LANDLORD:

YES

NO

1 ACCEPT AN IN-KIND DONATION TO THE SHERIFF'S DEPARTMENT OF A ONE-YEAR GRAYKEY
2 SOFTWARE LICENSE SUBSCRIPTION FROM NON-PROFIT ORGANIZATION, OPERATION
3 UNDERGROUND RAILROAD, AND APPROVE RELATED AGREEMENTS
4
5

6 WHEREAS, Operation Underground Railroad is a privately-run, non-profit organization that
7 provides trainings and resources to law enforcement agencies throughout the country to assist
8 in combating human trafficking and sexual exploitation; and
9

10 WHEREAS, Operation Underground Railroad expressed an interest in donating a one-year
11 GrayKey software license to the Waukesha County Sheriff's Department; and
12

13 WHEREAS, Operation Underground Railroad will work directly with Grayshift, LLC to provide the
14 one-year software license subscription to the Sheriff's Department's computer forensics lab;
15 and
16

17 WHEREAS, the total value of the software license subscription is \$25,300; and
18

19 WHEREAS, this software will significantly increase the investigative ability of the Sheriff's
20 Department as it relates to cell phones; and
21

22 WHEREAS, as a condition of its acceptance of the donation, the Sheriff's Department must
23 enter into a Mutual Agreement with Operation Underground Railroad as well as an End User
24 License Agreement with Grayshift, LLC; and
25

26 WHEREAS, the Mutual Agreement with Operation Underground Railroad will require the
27 Sheriff's Department to provide bi-monthly reports to Operation Underground Railroad with
28 the number of individuals arrested and victims identified with the assistance of the software,
29 however, this requirement will have no impact on Department staffing or expenditures; and
30

31 WHEREAS, Waukesha County Code, Section 7.91(b)4 requires that in-kind donations with a
32 replacement value of five thousand dollars (\$5,000) or more, as determined by the recipient
33 department or those subject to a special condition, must be accepted by the County Board.
34

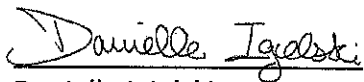
35 THE COUNTY BOARD OF SUPERVISORS OF THE COUNTY OF WAUKESHA DOES ORDAIN that the
36 Waukesha County Sheriff's Department is authorized to accept the in-kind donation of a one-
37 year GrayKey software license subscription from Operation Underground Railroad.
38

39 THE COUNTY BOARD OF SUPERVISORS OF THE COUNTY OF WAUKESHA FURTHER ORDAINS that
40 the Waukesha County Sheriff's Department is authorized to sign the Mutual Agreement with
41 Operation Underground Railroad and the End User License Agreement with Grayshift, LLC, in
42 the form to be approved by Corporation Counsel.

Fiscal Note

ACCEPT AN IN-KIND DONATION TO THE SHERIFF'S DEPARTMENT OF A ONE-YEAR GRAYKEY
SOFTWARE LICENSE SUBSCRIPTION FROM NON-PROFIT ORGANIZATION OPERATION
UNDERGROUND RAILROAD AND APPROVE RELATED AGREEMENTS

This ordinance authorizes the Waukesha County Sheriff's Department to accept the donation of a one-year GrayKey software license. The value of the one-year cloud-based license is \$23,500. To accept this donation, the department will be tracking certain metrics related to the software for reporting back to Operation Underground Railroad. This is a requirement from the donating entity and will assist in determining if the department should commit to this software in future years. The department indicated that should they decide to keep this software beyond the term of the donation, they will evaluate outside funding options or would be otherwise prioritized in future budget requests.



Danielle Igieski
Accounting Services Manager
9/7/2021

1 MODIFY THE 2021 CIRCUIT COURT SERVICES', DISTRICT ATTORNEY'S, AND SHERIFF'S
2 BUDGETS TO AUTHORIZE GRANT EXPENDITURES AND CREATE NINE REGULAR
3 FULL-TIME SUNSET POSITIONS AND FIVE PART-TIME SUNSET POSITIONS TO
4 ADDRESS THE CRIMINAL COURT BACKLOG
5
6

7 WHEREAS, the World Health Organization declared a global pandemic of Coronavirus Disease
8 2019 (COVID-19) due to a widespread human infection worldwide, and Wisconsin Governor
9 Tony Evers and Waukesha County Executive Paul Farrow declared public health emergencies
10 during 2020, respectively, for the State and County of Waukesha; and
11

12 WHEREAS, jury trials were suspended from March 22, 2020 pursuant to a Wisconsin Supreme
13 Court Order and then resumed July 7, 2020 subject to an operation plan that was approved by
14 Chief Judge Dorow and the Wisconsin Supreme Court; and
15

16 WHEREAS, District 3 Order, 21-SO-13(67) is anticipated to be signed by Chief Judge Dorow,
17 creating a criminal calendar for the Honorable Michael O. Bohren effective January 4, 2022, to
18 address the criminal court case backlog caused by the COVID-19 pandemic; and
19

20 WHEREAS, funding from the American Rescue Plan Act (ARPA) through the Coronavirus State
21 and Local Fiscal Recovery Fund (CSLFRF) program is available to address any negative economic
22 harm, which the U.S. Treasury Department has defined to include addressing criminal court
23 case backlogs; and
24

25 WHEREAS, the positions created to address criminal court backlogs are created through the
26 appropriation of CSLFRF revenue and are created as sunset positions and will be sunset when
27 either the court backlog is eliminated or December 31, 2023, whichever date is sooner; and
28

29 WHEREAS, Circuit Court Services will provide regular court backlog updates to the County
30 Executive and County Board; and
31

32 WHEREAS, Circuit Court Services has identified that, in order to provide the additional services
33 to the expanded caseload, it will be necessary to create 1.00 FTE Senior Administrative
34 Specialist, 1.00 FTE Administrative Specialist, 2.00 Regular Part-Time (RPT) Court Commissioners
35 (to be budgeted at 1.00 FTE in total), and 1.00 RPT Fiscal Specialist (to be budgeted at 0.50 FTE
36 in total); and
37

38 WHEREAS, the District Attorney's Office has identified that in order to provide the additional
39 services to the expanded caseload, it will be necessary to create 3.00 FTE Special Prosecutors,
40 1.00 FTE Senior Administrative Specialist, 2.00 FTE Victim Witness Specialists, and 2.00 RPT
41 Administrative Assistants (to be budgeted at 1.00 FTE in total); and
42

43 WHEREAS, in addition through an interdepartmental charge from Circuit Court Services, there
44 will be 1.00 FTE Deputy Sheriff created in the Sheriff's Department to provide courtroom
45 security; and

46 WHEREAS, these positions will be created effective November 1, 2021 to begin training prior to
47 the start of the sixth criminal court calendar expected in early 2022; and

48
49 WHEREAS, the departments' proposed 2022 operating budgets will include these costs and
50 related revenue; and

51
52 WHEREAS, the costs and revenues associated with the elimination of the courts backlog will be
53 tracked through the Special Purpose Grant Fund, which the County Board established to
54 facilitate management and reporting of ARPA-CSLFRF Funds.

55
56 THE COUNTY BOARD OF SUPERVISORS OF THE COUNTY OF WAUKESHA ORDAINS that, effective
57 November 1, 2021, the regular full-time and regular part-time positions listed in the attached
58 Table I, are created as sunset positions to be reduced or eliminated when the court backlog is
59 eliminated or funding is reduced or eliminated, but no later than December 31, 2023.

60
61 BE IT FURTHER ORDAINED that the classification specification for Special Prosecutor, as
62 attached, is adopted upon final approval of this ordinance.

63
64 BE IT FURTHER ORDAINED that the 2021 Special Purpose Grant Fund budget be modified for
65 Waukesha County Circuit Court Services to appropriate additional expenditures in personnel
66 costs by \$57,385, operating expenses by \$2,000 and interdepartmental charges by \$18,358, and
67 increase general government revenues by \$77,743.

68
69 BE IT FURTHER ORDAINED that the 2021 Special Purpose Grant Fund budget be modified for
70 the Waukesha County District Attorney's Office to appropriate additional expenditures in
71 personnel costs by \$94,263, operating costs by \$2,818, and interdepartmental charges by \$400.
72 Revenues should also be increased by general government revenues by \$94,981 and charges
73 for services by \$2,500.

74
75 BE IT FURTHER ORDAINED that the Waukesha Sheriff Department's 2021 budget be modified to
76 appropriate additional expenditures in personnel costs by \$18,108 and increase
77 interdepartmental revenue by \$18,108.

TABLE I
Create Sunset Positions
Effective November 1, 2021

| CREATE | | | |
|-------------------|--------------------|----------------------------------|----------------------------------|
| Department | Status | Classification | 2021 Hourly Salary |
| Circuit Courts | 2-RPT | Court Commissioner | Open Range 20 \$45.17-\$65.05 |
| Circuit Courts | 1-RFT | Senior Administrative Specialist | Open Range 03 \$19.70-\$26.06 |
| Circuit Courts | 1-RFT | Administrative Specialist | Step Range 06 \$17.45-\$23.05 |
| Circuit Courts | 1-RPT | Fiscal Specialist | Step Range 08 \$19.24-\$25.41 |
| District Attorney | 3-RFT | Special Prosecutor | Open Range 09 \$26.41-\$34.93 |
| District Attorney | 1-RFT | Senior Administrative Specialist | Open Range 03 \$19.70-\$26.06 |
| District Attorney | 2-RFT | Victim Witness Specialist | Open Range 05 \$21.72-\$28.73 |
| District Attorney | 2-RPT ¹ | Administrative Assistant | Step Range 05 \$16.61-\$21.93 |
| Sheriff | 1-RFT | Deputy Sheriff | \$27.13-\$36.56 |

¹ With ability to fill as 1.00 regular, full-time Administrative Assistant or as 2.00 regular, part-time Administrative Assistants.

SPECIAL PROSECUTOR

FUNCTION OF THE JOB

Under direction, consistent with Chapter 978 and other relevant provisions of the Wisconsin Statutes, to assist with all phases of prosecution in a professional and ethical manner; adhere to Chapter 950 requirements regarding notification and treatment of victims of crime; and to perform other duties as required.

CHARACTERISTIC DUTIES AND RESPONSIBILITIES

1. Responsible for all duties stated in §978.05, Wisconsin Statutes.
2. Reviews referrals from law enforcement agencies to determine whether to decline or issue charges.
3. Issues charges consistent with ethical and legal standards.
4. Ensures the requirements of Chapter 950 and other relevant provisions of the Wisconsin Statutes and constitution that relate to notification and treatment of victims and witnesses of crime are met.
5. Prosecutes cases that merit prosecution in a professional and ethical manner, which includes performing duties as a minister of justice to zealously pursue the truth in court and present facts with candor to courts and juries.
6. Provides discovery to opposing parties as required by law and consistent with related case law.
7. Provides guidance to law enforcement agencies, social workers, and others that relate to potential or actual prosecutions, including participation in training sessions.
8. Reviews draft subpoenas and search warrants prepared by law enforcement.
9. Inform others who work in the criminal justice system and the public at large about developing trends, problems, and concerns related to their daily work in a collaborative manner.
10. Prepares written reports and briefs concerning cases handled and their progress.
11. Conducts legal research and investigations that may include analysis of case law, statutory requirements, legal documents, and contracts.
12. Prepares legal documents, contracts, complaints, and pleadings; or drafts opinions, orders, or decisions.
13. Develops and maintains effective working and public relations with staff, departments, government officials, and the public.
14. Performs other duties as required.

QUALIFICATIONS

Essential Knowledge and Abilities

1. Comprehensive knowledge of legal research methods, principles, and source materials.
2. Considerable knowledge of criminal laws and procedures of Wisconsin.
3. Considerable knowledge of Wisconsin State Statutes, the Administrative Code, and applicable case law.
4. Considerable knowledge of judicial procedures, rules of evidence, and the practices and techniques employed in the presentation of cases in court.
5. Working knowledge of federal and civil laws and procedures.
6. Ability to appraise and organize facts, and to effectively present materials in written or oral form.
7. Ability to establish and maintain effective public and working relationships.
8. Ability to effectively plead cases in court and to prepare oral and written agreements supportive of cases.
9. Ability to effectively present recommendations to judges, court commissioners, elected officials, various boards, committees, and/or commissions.

QUALIFICATIONS

Essential Knowledge and Abilities (cont.)

10. Ability to research, analyze, and interpret legal documents, statutes, and codes.
11. Ability to analyze and make recommendations regarding credibility, plausibility, and other determinations of fact.
12. Ability to exercise judgment in the interpretation and application of law to individual factual situations.
13. Ability to maintain accurate and complete records and to prepare clear and detailed reports.
14. Ability to establish and maintain effective working relationships with staff, departments, government officials, and the public.

15. Ability to effectively interact with sensitivity with persons from diverse cultural, socioeconomic, educational, racial, ethnic, and professional backgrounds, and persons of all ages and lifestyles.

Training and Experience

1. Graduation from an ABA accredited law school.
2. Admission to the Bar in the State of Wisconsin.

FISCAL NOTE

MODIFY THE 2021 CIRCUIT COURT SERVICES', DISTRICT ATTORNEY'S, AND SHERIFF'S
BUDGETS TO AUTHORIZE GRANT EXPENDITURES AND CREATE NINE REGULAR
FULL-TIME SUNSET POSITIONS AND FIVE PART-TIME SUNSET POSITIONS
TO ADDRESS THE CRIMINAL COURT BACKLOG

This ordinance modifies the 2021 budgets for the Circuit Courts, District Attorney, and Sheriff's Department to address the criminal court backlog caused by the COVID-19 pandemic, as shown in the table below.

| | Circuit Courts* | District Attorney* | Sheriff | Total |
|------------------------------|----------------------------|-------------------------------|-----------------|------------------|
| Personnel Costs | \$57,385 | \$94,263 | \$18,108 | \$169,756 |
| Operating Expenses | \$2,000 | \$2,818 | \$ - | \$4,818 |
| Interdepartmental Charges | \$18,358 | \$400 | \$ - | \$18,108 |
| Total Expenses | \$77,743 | \$97,481 | \$18,108 | \$193,332 |
| General Government (ARPA) | \$77,743 | \$94,981 | \$ - | \$172,074 |
| Charges for Services | \$ - | \$2,500 | \$ - | \$2,500 |
| Interdepartmental Revenue | \$ - | \$ - | \$18,108 | \$18,108 |
| Total Revenue | \$77,743 | \$97,481 | \$18,108 | \$193,332 |

*For managing and reporting purposes, these expenses and revenues will be accounted for in the Special Purpose Grant Fund. The budget modification for the Sheriff's Department will be in the department's General Fund budget, with a cross-charge to the Special Purpose Grant Fund for Circuit Court bailiff services.

Personnel costs include the creation of nine full-time sunset positions and five part-time sunset positions (see table below). The District Attorney's two regular, part-time Administrative Assistants can also be filled as one regular, full-time Administrative Assistant if the department deems it more effective. These positions are created as sunset positions and will be sunset when either the court backlog is eliminated or December 31st, 2023, whichever date is sooner. The personnel cost estimate reflects a partial year of employment (two months).

See next page.

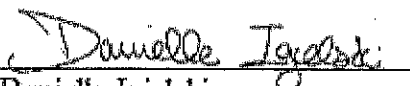
| Department | Status | Classification | 2021 Budget Modification |
|-------------------|--------|----------------------------------|--------------------------|
| Circuit Courts | 2-RPT | Court Commissioner | \$27,626 |
| Circuit Courts | 1-RFT | Senior Administrative Specialist | \$12,037 |
| Circuit Courts | 1-RFT | Administrative Specialist | \$11,207 |
| Circuit Courts | 1-RPT | Fiscal Specialist | \$6,515 |
| District Attorney | 3-RFT | Special Prosecutor | \$43,992 |
| District Attorney | 1-RFT | Senior Administrative Specialist | \$12,037 |
| District Attorney | 2-RFT | Victim Witness Specialist | \$26,478 |
| District Attorney | 2-RPT | Administrative Assistant | \$11,756 |
| Sheriff | 1-RFT | Deputy Sheriff | \$18,108 |
| Total | | | \$169,756 |

Operating expenses consist of office supplies and trial preparation costs. When the additional court capacity is operational beginning in 2022, there will be additional operating expenses, largely for jury costs, professional outside counsel, and other services (e.g., interpreter expense), office supplies, and trial preparation. Interdepartmental charges represent the cross-charge between Circuit Courts and Sheriff's Department for bailiff services and EUTF charges. There will also be additional interdepartmental charges beginning in 2022, which includes transportation of inmates and postage.

The majority of the criminal court case backlog initiative will be funded with American Rescue Plan Act grant revenues received through the Coronavirus State and Local Fiscal Recovery Funds (CSLFRF) program. (Once additional court activities begin, anticipated in early 2022, department management indicates there will be additional revenues received (e.g., criminal court fees), partially offsetting the need for ARPA funding.) This ordinance would authorize the use of these ARPA funds for assistance eliminating the backlog through 2023, or until the end of the year in which the backlog is deemed eliminated, whichever is sooner. It is estimated that \$2,100,000 of ARPA funds will be needed in total for 2022 and 2023.

Expenses and revenues related to eliminating the criminal court case backlog will be included in the 2022 proposed budget.

This ordinance does not result in a direct levy impact.


 Danielle Igielski
 Accounting Services Manager

9/8/2021

SMK

JE 2021-00006062

1 MODIFY THE 2021 DISTRICT ATTORNEY'S OFFICE BUDGET TO ACCEPT GRANT
2 AND DONATION REVENUE TO SUPPORT EMOTIONAL SUPPORT DOG
3
4

5 WHEREAS, in 2020 the District Attorney's Office, Victim Assistance Program utilized grant
6 funding and donations to purchase a facility dog to provide emotional support and comfort to
7 crime victims; and
8

9 WHEREAS, the ordinance to purchase the dog ordained that the program raise non-levy funding
10 to support the on-going costs associated with the dog program; and
11

12 WHEREAS, the District Attorney's Office, Victim Assistance Program has successfully raised
13 \$7,600 through donations and \$1,800 through a Department of Justice Children's Justice Act
14 grant to support the on-going costs of the dog program and to raise awareness of the facility
15 dog program in an effort to solicit additional donations; and
16

17 WHEREAS, the purchase of the dog occurred following the adoption of the 2021 budget so
18 unspent funds to support the care of the dog were carried over from the 2020 budget
19 appropriation into 2021, but sufficient funding was not available to fully support the dog costs
20 in 2021.
21

22 THE COUNTY BOARD OF SUPERVISORS OF THE COUNTY OF WAUKESHA ORDAINS that the
23 Waukesha County District Attorney's Office be authorized to accept the donations and grants
24 for the care of the facility dog.
25

26 BE IT FURTHER ORDAINED that the Waukesha County District Attorney's Office 2021 budget be
27 modified by increasing \$1,800 in General Government, \$6,000 in Other Revenues and \$7,800 in
28 Operating Expenses to support the on-going expenses associated with the facility dog program.

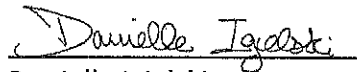
Fiscal Note

MODIFY THE 2021 DISTRICT ATTORNEY'S OFFICE BUDGET TO ACCEPT GRANT
AND DONATION REVENUE TO SUPPORT EMOTIONAL SUPPORT DOG

This ordinance authorizes the District Attorney's Office to accept \$1,800 in grant funding from the Children's Justice Act and \$6,000 in donated funds and to support the 2021 on-going costs associated with the facility dog program to provide emotional support and comfort to crime victims. The Department is requesting to appropriate \$7,800 of the \$9,400 received in donated funds and grant funds in the operating appropriation unit to support 2021 expenses such as: promotional materials about the program, veterinary care, food, equipment, and credit card fees to allow for on-line donations.

Donations in excess of expenditures in 2021 will be appropriated through the budget process in future years.

This ordinance has no levy impact.



Danielle Igielski
Accounting Services Manager
9/7/2021
JE 2021-00006275